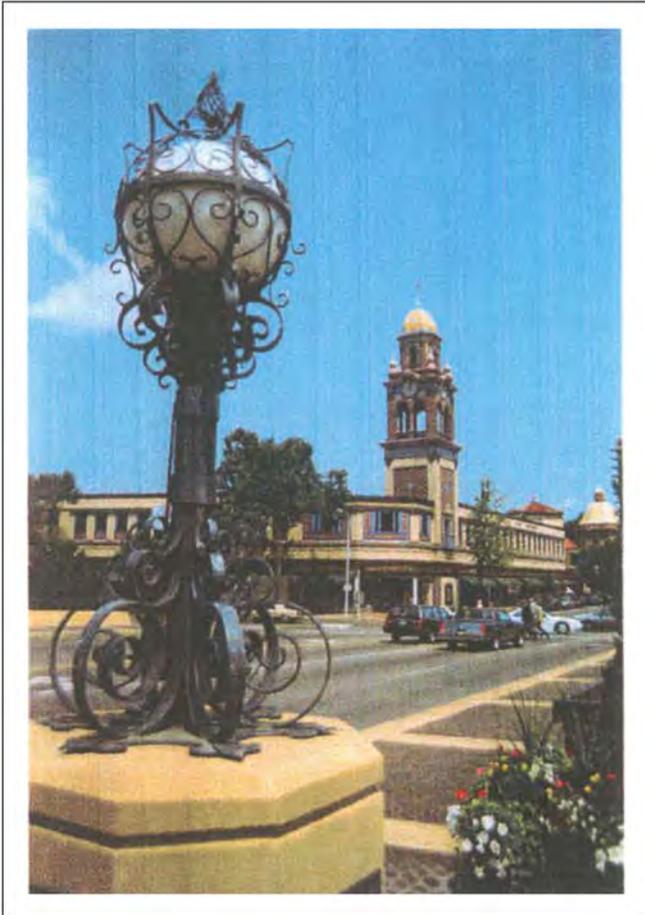
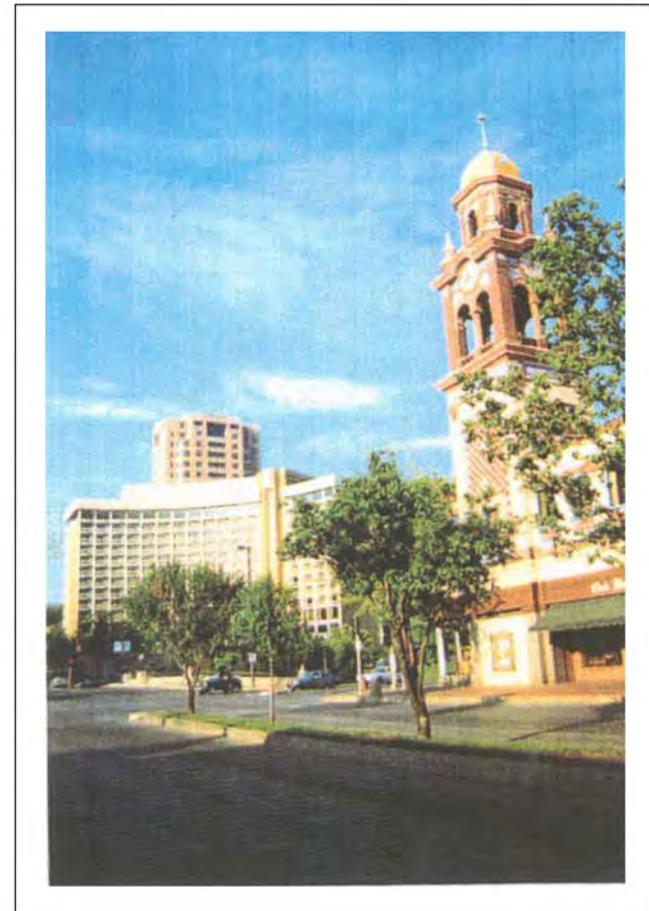


The Plaza Urban Design and Development Plan



Planning and Urban Design Division
City Development Department
Kansas City, Missouri

Last Amended 1/31/13 by Amendment No. 121049



RESOLUTION NO. 951550

Reaffirming the Plaza Urban Design and Development Plan as a guide for the development and redevelopment of the Plaza area, endorsing the planning principles set forth in such Plan, and confirming such Plan as the measure to review proposed development and redevelopment.

WHEREAS, the Council has previously expressed its intent to guide the development and redevelopment of the Plaza area by adoption of Resolution No. 63190, as amended, on June 1, 1989, approving the Plaza Urban Design and Development Plan; and

WHEREAS, the Plaza Urban Design and Development Plan established certain fundamental principles to frame and preserve the characteristics of the Plaza area being that area of the City bounded by 43rd Street on the north, The Paseo on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, the Plaza area continues to be impacted by traffic congestion, limited parking, and a combination storm and sanitary sewer system; and

WHEREAS, despite the passage of time, the principles set forth in such Plaza Urban Design and Development Plan desirable for the continued viability of the Plaza area; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

That the Council hereby reaffirms its commitment to the Plaza Urban Design and Development Plan for the development and redevelopment of the Plaza area and further endorses the planning principles set forth in such Plan as appropriate and desirable and confirms that such Plan is the measure to review all proposed development and redevelopment in the Plaza area subject to subsequent amendments to such Plan.

ADOPTED AND
UNANIMOUSLY PASSED
Manuel Cleaver
EMANUEL CLEAVER II, Mayor
Catherine J. Picha

By *Rancho H. O'Leary* City Clerk
NOV 09 1995
Deputy City Clerk

COMMITTEE SUBSTITUTE FOR RESOLUTION NO. 970036

Approving an amendment to the Plaza Urban Design and Development Plan for the future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west.

WHEREAS, the Council adopted the Plaza Urban Design and Development Plan through the passage of Resolution No. 63190, as amended, passed June 1, 1989, which Plan established guidelines and standards for future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, because of planning and other considerations it has become necessary and desirable to make certain modifications to the land uses, guidelines and standards set forth in the Plaza Urban Design and Development Plan and specifically those relating to Planning Area C and the area bounded by 48th Street, Bellevue Avenue, Ward Parkway and Roanoke Parkway; and

WHEREAS, the Council desires to limit the height of any buildings built on the block bounded by 48th Street, Bellevue Avenue, Ward Parkway, and Roanoke Parkway (hereinafter the "Property") to no more than 10 stories on the Roanoke Parkway frontage and approximately 45 feet on the Bellevue Avenue frontage in order to ensure the proper massing and scale of buildings relative to the existing buildings; and

WHEREAS, in order to establish Bellevue Avenue as the definite western edge of the Plaza's office and retail development, the Council desires to designate the block bounded by 48th Street, Bellevue Avenue, Roanoke Parkway and Ward Parkway as "limited redevelopment within specific site guidelines" and desires to encourage reasonable access to the Property from both Bellevue Avenue and Roanoke Parkway. Furthermore, the Council desires to add additional guidelines to Planning Area C which will preserve and protect the residential neighborhoods west of Bellevue Avenue as identified in the attached Plaza Urban Design and Development Plan; and

WHEREAS, legal notice of the public hearing before the City Plan Commission was published in conformity with state and local laws; and

WHEREAS, the City Plan Commission did hold public hearings and did recommend denial on November 18, 1996, of the amendment to the Plaza Urban Design and Development Plan and to the land uses, guidelines and standards contained in said amendment; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the amendment to the Plaza Urban Design and Development Plan be and the same is hereby adopted and approved by the City Council as a guide for future development and redevelopment of the area described therein. A copy of said plan is on file in the office of the City Clerk under Document No. 970036 and incorporated herein by reference.

970036-4

COMMITTEE SUBSTITUTE FOR RESOLUTION NO. 970036

Section B. That the Council finds and declares that before taking any action on the proposed plan amendment hereinabove, all public notices and hearings required by law have been given and had.

ADOPTED
MICHAEL CLEAVER II, Mayor

Catherine J. Asha
City Clerk

By Ronell W. Long Deputy City Clerk
FEB 24 1997

RESOLUTION 63190, AS AMENDED

APPROVING THE PLAZA URBAN DESIGN AND DEVELOPMENT PLAN AS A GUIDE FOR THE FUTURE DEVELOPMENT AND REDEVELOPMENT OF THE AREA GENERALLY BOUNDED BY 43RD STREET ON THE NORTH, THE PASEO ON THE EAST, 55TH STREET ON THE SOUTH AND STATE LINE ROAD ON THE WEST.

WHEREAS, the City Development Department has initiated a study delineating the characteristics of the Plaza area; and

WHEREAS, said study focuses on the development and redevelopment of the area generally bounded by 43rd Street on the north, The Paseo on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, as a result of said study, the City Development Department has prepared a framework for the orderly development and redevelopment of the Plaza area; and

WHEREAS, the City Development Department has incorporated its findings in the Plaza Urban Design and Development Plan; and

WHEREAS, legal notice of the public hearing before the City Plan Commission was published on January 18, 1988; and

WHEREAS, the City Plan Commission did hold a public hearing on said Plan on March 1, 1988; and

WHEREAS, the City Plan Commission did recommend approval of the Plaza Urban Design and Development Plan as a part of the master plan for the development of the City as a whole; and

WHEREAS, the City Plan Commission recommends that the City Council approve the Plaza Urban Design and Development Plan as a guide for future development and redevelopment within the area generally bounded by 43rd Street on the north, The Paseo on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, after further hearings and consideration, certain modifications have been recommended in the Plaza Urban Design and Development Plan; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section 1. That the Plaza Urban Design and Development Plan as prepared by the City Development Department and recommended for adoption by the City Plan Commission on March 1, 1988, and as further revised be and the same is hereby adopted by the City Council as a guide for development and redevelopment of the area

63190
via Amendment

described therein. A copy of said Plan is on file in the office of the City Clerk under Document Number 63190, and is incorporated herein by reference.

Section 2. That the Council finds and declares that before taking any action on the proposed Plan all public notices and hearings required by law have been given and had.

Authenticated as Passed

Richard L. Berkeley
RICHARD L. BERKELEY, Mayor
Catharine Fisher
City Clerk

By *R. L. Berkeley*
JUN 1 19_9

COMMITTEE SUBSTITUTE FOR RESOLUTION NO. 991200

Approving an amendment to the Plaza Urban Design and Development Plan for the future development and redevelopment of the areas generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west by changing the land use recommendations for Planning Area C which is bounded by 48th Street on the north, Roanoke Parkway on the east, Ward Parkway on the south and Belleview Avenue on the west and for Planning Area L which is bounded by 49th Street on the north, 51st Street on the south, Forest Avenue on the east and Troost Avenue on the west.

WHEREAS, the Council adopted the Plaza Urban Design and Development Plan through the passage of Resolution No. 63190, As Amended, adopted on June 1, 1989, which Plan established guidelines and standards for future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, the Council reaffirmed and endorsed the planning principles set forth in the Plaza Urban Design and Development Plan through the adoption of Resolution No. 951550 on November 9, 1995; and

WHEREAS, the Council amended the Plaza Urban Design and Development Plan through the adoption of Committee Substitute for Resolution No. 970036 on February 24, 1997, which amended the land use recommendations for Planning Area C which is bounded by 48th Street on the north, Roanoke Parkway on the east, Ward Parkway on the south and Belleview Avenue on the west; and

WHEREAS, because of planning and other considerations, including that the project in Planning Area C for which the amendment was made is no longer anticipated to be constructed and significant changes relating to Planning Area L, it has become necessary and desirable to make certain modifications to the land uses, guidelines and standards set forth in the Plaza Urban Design and Development Guidelines, specifically relating to Planning Area C and Planning Area L which is generally bounded by 49th Street on the north, 51st Street on the south, Forest Avenue on the east and Troost Avenue on the west; and

WHEREAS, specifically the Council desires to amend the Plaza Urban Design and Development Plan Planning Recommendations maps and associated text for a part of Planning Area C bounded by 48th Street to Ward Parkway, Madison to Belleview, by changing the land use designation from "limited redevelopment within specific site guidelines" to "potential redevelopment within existing zoning" at the southeast corner of 48th Street and Belleview and "no recommended rezoning" for the remainder of the block; and

WHEREAS, specifically the Council desires to amend the Plaza Urban Design and Development Plan Planning Recommendations maps and associated text for a part of Planning Area L bounded by 49th Street to 51st Street, Troost Avenue to Forest Avenue, by eliminating the

COMMITTEE SUBSTITUTE FOR RESOLUTION NO. 991200

planning recommendations and associated text to allow institutional expansion within the area and inserting new planning recommendations maps and text designating "potential redevelopment areas" at the southeast corner of 49th Street and Troost Avenue, and at the northeast corner of 51st Street and Troost Avenue, designating "potential redevelopment within existing zoning" for the lots on the south side of 49th Street, east of Troost Avenue to Tracy Avenue, and designating "no recommended rezoning" for all remaining areas of Planning Area L; and

WHEREAS, development and redevelopment of Planning Area L has been reconsidered as a part of the Troostwood Neighborhood Plan, which plan is being considered by the City Council in conjunction with the consideration of this amendment; and

WHEREAS, public notice of a hearing before the City Plan Commission was published on October 4, 1999; and

WHEREAS, the City Plan Commission considered the amendment to the Plaza Urban Design and Development Plan at its hearing on October 19, 1999; and

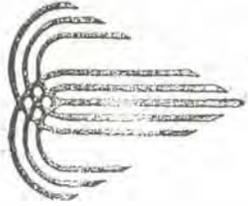
WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did on October 19, 1999, recommend approval of the proposed amendment to the Plaza Urban Design and Development Plan except the Commission recommended elimination of the amendments to Planning Area C; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the second amendment to the Plaza Urban Design and Development Plan is hereby approved which changes the land use recommendations for Planning Area C and Planning Area L as outlined in the second amendment. A copy of the second amendment to the Plaza Urban Design and Development Plan is on file in the office of the City Clerk under Document No. 991200 and is incorporated herein by reference.

Section B. That the second amendment to the Plaza Urban Design and Development Plan is consistent and complies with the FOCUS Kansas City Plan, adopted on October 30, 1997, by Committee Substitute for Resolution No. 971298, and is adopted as a supplement to the FOCUS Kansas City Plan.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by law have been given and had.



Authenticated as Passed

Kay Barnes

KAY BARNES, Mayor

Catherine T. Rocha

Catherine T. Rocha, City Clerk

DATE PASSED OCT 28 1998

RESOLUTION NO. 000630

Approving an amendment to the Plaza Urban Design and Development Plan for the future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west by modifying the Land Use Plan and Map for that area which is bounded by Ward Parkway on the north, Brookside Boulevard on the east, 49th Street on the south and Main Street on the west, to recommend "limited redevelopment area within specific guidelines" instead of "no recommended rezoning".

WHEREAS, the Council adopted the Plaza Urban Design and Development Plan through the passage of Resolution No. 63190, As Amended, on June 1, 1989, which Plan established guidelines and standards for future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, the Council reaffirmed and endorsed the planning principles set forth in the Plaza Urban Design and Development Plan through the adoption of Resolution No. 951550 on November 9, 1995; and

WHEREAS, the Council amended the Plaza Urban Design and Development Plan through the adoption of Committee Substitute for Resolution No. 970036 on February 24, 1997, and further amended the Plan on October 28, 1999, through the adoption of Committee Substitute for Resolution No. 991200; and

WHEREAS, because of planning and other considerations, it has become necessary and desirable to make certain modifications to the land uses, guidelines and standards set forth in the Plaza Urban Design and Development Plan, specifically relating to that area which is generally bounded by Ward Parkway on the north, Brookside Boulevard on the east, 49th Street on the south and Main Street on the west, by modifying the Land Use Plan and Map from "no recommended rezoning" to "limited redevelopment area within specific guidelines"; and

WHEREAS, public notice of a hearing before the City Plan Commission was published on December 6, 1999; and

WHEREAS, the City Plan Commission considered the amendment to the Plaza Urban Design and Development Plan at its hearing on April 18, 2000; and

WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did on April 18, 2000, recommend approval of the proposed amendment to the Plaza Urban Design and Development Plan; NOW, THEREFORE,

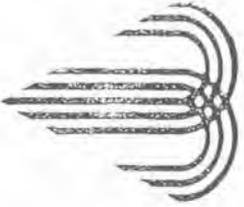
BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

000630

Section A. That the amendment to the Plaza Urban Design and Development Plan is hereby approved as to the Proposed Land Use Plan and Map for that area generally bounded by Ward Parkway on the north, Brookside Boulevard on the east, 49th Street on the south and Main Street on the west, by modifying the recommended land uses for the area from "no recommended rezoning" to "limited redevelopment area within specific guidelines". A copy of the amendment to the Plaza Urban Design and Development Plan is on file in the office of the City Clerk under Document No. 000630 and is incorporated herein by reference.

Section B. That the amendment to the Plaza Urban Design and Development Plan is consistent and complies with the FOCUS Kansas City Plan, adopted on October 30, 1997, by Committee Substitute for Resolution No. 971298, and is adopted as a supplement to the FOCUS Kansas City Plan.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by law have been given and had.



Authenticated as Passed


KAY BARNES, Mayor


Catherine T. Rocha, City Clerk

DATE PASSED 1 JUN 08 2000

RESOLUTION NO. 010282

Approving an amendment to the Plaza Urban Design and Development Plan for the future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west by modifying the Land Use Plan and Map for that area of approximately 0.85 acres which is generally located at the northeast corner of 44th Street and Main Street to recommend “limited redevelopment area within specific guidelines” instead of “approved redevelopment project” and “no recommended rezoning”.

WHEREAS, the Council adopted the Plaza Urban Design and Development Plan through the passage of Resolution No. 63190, As Amended, on June 1, 1989, which Plan established guidelines and standards for future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, the Council reaffirmed and endorsed the planning principles set forth in the Plaza Urban Design and Development Plan through the adoption of Resolution No. 951550 on November 9, 1995; and

WHEREAS, the Council amended the Plaza Urban Design and Development Plan through the adoption of Committee Substitute for Resolution No. 970036 on February 24, 1997, amended the Plan on October 28, 1999, through the adoption of Committee Substitute for Resolution No. 991200, and further amended the Plan on August 8, 2000, through the adoption of Resolution No. 000630; and

WHEREAS, because of planning and other considerations, it has become necessary and desirable to make certain modifications to the land uses, guidelines and standards set forth in the Plaza Urban Design and Development Plan, specifically relating to that area of approximately 0.85 acres which is generally located at the northeast corner of 44th Street and Main Street by modifying the Land Use Plan and Map from “approved redevelopment project” and “no recommended rezoning” to “limited redevelopment area within specific guidelines”; and

WHEREAS, public notice of a hearing before the City Plan Commission was published on January 1, 2001; and

WHEREAS, the City Plan Commission considered the amendment to the Plaza Urban Design and Development Plan at its hearing on February 6, 2001; and

WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did on February 6, 2001, recommend approval of the proposed amendment to the Plaza Urban Design and Development Plan; NOW, THEREFORE,

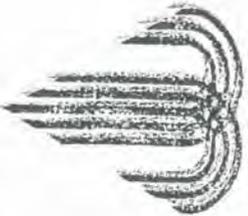
BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

010282

Section A. That the amendment to the Plaza Urban Design and Development Plan is hereby approved as to the Proposed Land Use Plan and Map for that area of approximately 0.85 acres generally located at the northeast corner of 44th Street and Main Street by modifying the recommended land uses for the area from "approved redevelopment project" and "no recommended rezoning" to "limited redevelopment area within specific guidelines". A copy of the amendment to the Plaza Urban Design and Development Plan is on file in the office of the City Clerk under Document No. 010282 and is incorporated herein by reference.

Section B. That the amendment to the Plaza Urban Design and Development Plan is consistent and complies with the FOCUS Kansas City Plan, adopted on October 30, 1997, by Committee Substitute for Resolution No. 971298, and is adopted as a supplement to the FOCUS Kansas City Plan.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by law have been given and had.



Authenticated and Passed

KAY BARNES, Mayor

Kay Barnes

Catherine T. Rocha, City Clerk

DATE PASSED **MAR 15 2001**

RESOLUTION NO. 030325

Approving an amendment to the Plaza Urban Design and Development Plan for the future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west by modifying the Land Use Plan and Map for that area of approximately 35 acres which is generally bounded by Washington Street, Broadway Avenue and Pennsylvania Avenue on the west, J.C. Nichols Parkway on the east, 45th Street on the south and 42nd Street on the north to recommend limited redevelopment area within specific guidelines instead of potential redevelopment areas, potential redevelopment within existing zoning, and no recommended rezoning. (225-S-12)

WHEREAS, the Council adopted the Plaza Urban Design and Development Plan through the passage of Resolution No. 63190, As Amended, on June 1, 1989, which Plan established guidelines and standards for future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, the Council reaffirmed and endorsed the planning principles set forth in the Plaza Urban Design and Development Plan through the adoption of Resolution No. 951550 on November 9, 1995; and

WHEREAS, the Council amended the Plaza Urban Design and Development Plan through the adoption of Committee Substitute for Resolution No. 970036 on February 24, 1997, amended the Plan on October 28, 1999, through the adoption of Committee Substitute for Resolution No. 991200, amended the Plan on August 8, 2000, through the adoption of Resolution No. 000630, and further amended the Plan on March 15, 2001, through the adoption of Resolution No. 010282; and

WHEREAS, because of planning and other considerations, it has become necessary and desirable to make certain modifications to the land uses, guidelines and standards set forth in the Plaza Urban Design and Development Plan, specifically relating to that area of approximately 35 acres which is generally bounded by Washington Street, Broadway Avenue and Pennsylvania Avenue on the west, J.C. Nichols Parkway on the east, 45th Street on the south and 42nd Street on the north by modifying the Land Use Plan and Map from potential redevelopment areas, potential redevelopment within existing zoning, and no recommended rezoning to limited redevelopment area within specific guidelines; and

WHEREAS, public notice of a hearing before the City Plan Commission was published on March __, 2003; and

WHEREAS, the City Plan Commission considered the amendment to the Plaza Urban Design and Development Plan at its hearing on April 1, 2003; and

WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did on April 1, 2003, recommend _____ of the proposed amendment to the Plaza Urban Design and Development Plan; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the amendment to the Plaza Urban Design and Development Plan is hereby approved as to the Proposed Land Use Plan and Map for that area of approximately 35 acres generally bounded by Washington Street, Broadway Avenue and Pennsylvania Avenue on the west, J.C. Nichols Parkway on the east, 45th Street on the south and 42nd Street on the north by modifying the Land Use Plan and Map from potential redevelopment areas, potential redevelopment within

030325

existing zoning, and no recommended rezoning to limited redevelopment area within specific guidelines. A copy of the amendment to the Plaza Urban Design and Development Plan is on file in the office of the City Clerk under Document No. 030325 and is incorporated herein by reference.

Section B. That the amendment to the Plaza Urban Design and Development Plan is consistent and complies with the FOCUS Kansas City Plan, adopted on October 30, 1997, by Committee Substitute for Resolution No. 971298, and is adopted as a supplement to the FOCUS Kansas City Plan.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by law have been given and had.

I hereby certify that as required by Chapter 80, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.

Secretary, City Plan Commission

Approved as to form and legality:


Assistant City Attorney

Authenticated as Passed



KAY BARNES, Mayor


Catherine T. Rocha, City Clerk

DATE PASSED APR 03 2003

ph

RESOLUTION NO. 030344

Approving an amendment to the Plaza Urban Design and Development Plan for the future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west by modifying the Land Use Plan and Map for that area of approximately 2.4 acres which is generally bounded by 48th Street on the north, Roanoke Parkway on the east, Ward Parkway on the south, and Bellevue Avenue on the west by changing the recommendation from no recommended rezoning and potential redevelopment within existing zoning to potential redevelopment and associated text for this site within Planning Area C to allow office, commercial retail, multi-family, and parking garages uses. (225-S-11)

WHEREAS, the Council adopted the Plaza Urban Design and Development Plan through the passage of Resolution No. 63190, As Amended, on June 1, 1989, which Plan established guidelines and standards for future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, the Council reaffirmed and endorsed the planning principles set forth in the Plaza Urban Design and Development Plan through the adoption of Resolution No. 951550 on November 9, 1995; and

WHEREAS, the Council amended the Plaza Urban Design and Development Plan through the adoption of Committee Substitute for Resolution No. 970036 on February 24, 1997, amended the Plan on October 28, 1999, through the adoption of Committee Substitute for Resolution No. 991200, amended the Plan on August 8, 2000, through the adoption of Resolution No. 000630, and further amended the Plan on March 15, 2001, through the adoption of Resolution No. 010282; and

WHEREAS, because of planning and other considerations, it has become necessary and desirable to make certain modifications to the land uses, guidelines and standards set forth in the Plaza Urban Design and Development Plan, specifically relating to that area of approximately 2.4 acres which is generally bounded by 48th Street on the north, Roanoke Parkway on the east, Ward Parkway on the south, and Bellevue Avenue on the west by changing the recommendation from no recommended rezoning and potential redevelopment within existing zoning to potential redevelopment and associated text for this site within Planning Area C to allow office, commercial retail, multi-family, and parking garages uses; and

WHEREAS, public notice of a hearing before the City Plan Commission was published on February 17, 2003; and

WHEREAS, the City Plan Commission considered the amendment to the Plaza Urban Design and Development Plan at its hearing on March 4, 2003; and

WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did on March 4, 2003, recommend approval of the proposed amendment to the Plaza Urban Design and Development Plan; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the amendment to the Plaza Urban Design and Development Plan is hereby approved as to the Proposed Land Use Plan and Map for that area of approximately 2.4 acres generally bounded by 48th Street on the north, Roanoke Parkway on the east, Ward Parkway on the south, and Bellevue Avenue on the west by changing the recommendation from no recommended rezoning and potential redevelopment within existing zoning to potential redevelopment and

030344

associated text for this site within Planning Area C to allow office, commercial retail, multi-family, and parking garages uses. A copy of the amendment to the Plaza Urban Design and Development Plan is on file in the office of the City Clerk under Document No. 030344 and is incorporated herein by reference.

Section B. That this amendment to the Plaza Urban Design and Development Plan is consistent and complies with the FOCUS Kansas City Plan, adopted on October 30, 1997, by Committee Substitute for Resolution No. 971298, and is adopted as a supplement to the FOCUS Kansas City Plan.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by law have been given and had.

I hereby certify that as required by Chapter 80, Code of Ordinances, the foregoing ordinance was duly advertised and public hearings were held.


Secretary, City Plan Commission

Approved as to form and legality:

Assistant City Attorney

Authenticated as Passed


KAY BARNES, Mayor


Linda F. Becker, City Clerk

DATE PASSED APR 17 2003



RESOLUTION NO. 031377

Approving an amendment to the Plaza Urban Design and Development Plan by changing the land use recommendation from an approved development project and potential redevelopment area to a limited redevelopment area with specific guidelines and associated text for approximately 0.90 acres generally located at the southeast corner of Jefferson Street and W. 43rd Street to allow for a mixture of uses. (225-S-13)

WHEREAS, the Council adopted the Plaza Urban Design and Development Plan through the passage of Resolution No. 63190, As Amended, on June 1, 1989, which Plan established guidelines and standards for future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, the Council reaffirmed and endorsed the planning principles set forth in the Plaza Urban Design and Development Plan through the adoption of Resolution No. 951550 on November 9, 1995; and

WHEREAS, the Council amended the Plaza Urban Design and Development Plan through the adoption of Committee Substitute for Resolution No. 970036 on February 24, 1997, amended the Plan on October 28, 1999, through the adoption of Committee Substitute for Resolution No. 991200, amended the Plan on August 8, 2000, through the adoption of Resolution No. 000630, amended the Plan on March 15, 2001, through the adoption of Resolution No. 010282, and further amended the Plan on April 17, 2003, through the adoption of Resolution No. 030344; and

WHEREAS, because of planning and other considerations, it has become necessary and desirable to make certain modifications to the land uses, guidelines and standards set forth in the Plaza Urban Design and Development Plan, by changing the land use recommendation for Planning Area E which is generally bounded by Madison Avenue on the west, Pennsylvania Avenue on the east, W. 43rd Street on the north and W. 44th Street on the south from an approved development project and potential redevelopment area to a limited redevelopment area with specific guidelines and associated text for approximately 0.90 acres generally located at the southeast corner of Jefferson Street and W. 43rd Street and extending approximately 275 feet to the east and 120 feet to the south to allow for a mixture of uses; and

WHEREAS, public notice of a hearing before the City Plan Commission was published on October 20, 2003; and

WHEREAS, the City Plan Commission considered the amendment to the Plaza Urban Design and Development Plan at its hearing on November 4, 2003; and

WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did on November 4, 2003, recommend approval of the proposed amendment to the Plaza Urban Design and Development Plan; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the amendment to the Plaza Urban Design and Development Plan is hereby approved as to the Proposed Land Use Plan and Map by changing the land use recommendation for Planning Area E which is generally bounded by Madison Avenue on the west, Pennsylvania Avenue on the east, W. 43rd Street on the north and W. 44th Street on the south from an approved development project and potential redevelopment area to a limited redevelopment area with specific guidelines and associated text for approximately 0.90 acres generally located at the southeast corner of Jefferson Street and W. 43rd Street and extending approximately 275 feet to the east and 120 feet

031377

to the south to allow for a mixture of uses. A copy of the amendment to the Plaza Urban Design and Development Plan is on file in the office of the City Clerk under Document No. 031377 and is incorporated herein by reference.

Section B. That this amendment to the Plaza Urban Design and Development Plan is consistent and complies with the FOCUS Kansas City Plan, adopted on October 30, 1997, by Committee Substitute for Resolution No. 971298, and is adopted as a supplement to the FOCUS Kansas City Plan.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by law have been given and had.

Authenticated as Passed


KAY BARNES, Mayor




City Clerk

DATE PASSED JAN 15 2004

RESOLUTION NO. 040048

Approving an amendment to the Plaza Urban Design and Development Plan by changing the land use recommendation for the Northwest Quadrant Planning Area from no recommended rezoning to a limited redevelopment area with specific guidelines for approximately 1.57 acres generally located at 4540 and 4600 JC Nichols Parkway. (225-S-14)

WHEREAS, the Council adopted the Plaza Urban Design and Development Plan through the passage of Resolution No. 63190, As Amended, on June 1, 1989, which Plan established guidelines and standards for future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, the Council reaffirmed and endorsed the planning principles set forth in the Plaza Urban Design and Development Plan through the adoption of Resolution No. 951550 on November 9, 1995; and

WHEREAS, the Council amended the Plaza Urban Design and Development Plan through the adoption of Committee Substitute for Resolution No. 970036 on February 24, 1997, amended the Plan on October 28, 1999, through the adoption of Committee Substitute for Resolution No. 991200, amended the Plan on August 8, 2000, through the adoption of Resolution No. 000630, amended the Plan on March 15, 2001, through the adoption of Resolution No. 010282, and amended the Plan on April 3, 2003, through the adoption of Resolution No. 030325, and further amended the Plan on April 17, 2003, through the adoption of Resolution No. 030344; and

WHEREAS, because of planning and other considerations, it has become necessary and desirable to make certain modifications to the land uses, guidelines and standards set forth in the Plaza Urban Design and Development Plan, by changing the land use recommendation for the Northwest Quadrant Planning Area from no recommended rezoning to a limited redevelopment area with specific guidelines on approximately a 1.57 acres generally located at 4540 and 4600 JC Nichols Parkway; and

WHEREAS, public notice of a hearing before the City Plan Commission was published on November 17, 2003; and

WHEREAS, the City Plan Commission considered the amendment to the Plaza Urban Design and Development Plan at its hearing on December 2, 2003; and

WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did on December 2, 2003, recommend approval of the proposed amendment to the Plaza Urban Design and Development Plan; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the amendment to the Plaza Urban Design and Development Plan is hereby approved as to the Proposed Land Use Plan and Map by changing the land use recommendation for the Northwest Quadrant Planning Area generally located at 4540 and 4600 JC Nichols Parkway from no recommended rezoning to a limited redevelopment area with specific guidelines for approximately 1.57 acres. A copy of the amendment to the Plaza Urban Design and Development Plan is on file in the office of the City Clerk under Document No. 040048 and is incorporated herein by reference.

040048

Section B. That this amendment to the Plaza Urban Design and Development Plan is consistent and complies with the FOCUS Kansas City Plan, adopted on October 30, 1997, by Committee Substitute for Resolution No. 971298, and is adopted as a supplement to the FOCUS Kansas City Plan.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by law have been given and had.

Authenticated as Passed



Kay Barnes
KAY BARNES, Mayor

[Signature]
City Clerk

DATE PASSED FEB 26 2004

RESOLUTION NO. 040617

Approving an amendment to the Plaza Urban Design and Development Plan by amending the Plaza Area Planning Recommendations Map, the Northwest Quadrant Planning Recommendations Map, the Urban Design Area A: The Madison/Bellevue Corridor Map, the Urban Design Area D: Jefferson to Wornall Map and associated text and deleting Area E: Madison to Washington, 43rd Street to 44th Street Map and associated text in an area generally bounded by Westport Road to the north, 46th Terrace to the south, J.C. Nichols Parkway to the east and Madison Avenue to the west by changing the recommended land use from potential redevelopment areas, approved development project, potential redevelopment within existing zoning and no recommended rezoning to uses recommended in the Plaza-Westport Neighborhood Plan. (225-S-15)

WHEREAS, the Council adopted the Plaza Urban Design and Development Plan through the passage of Resolution No. 63190, as amended, on June 1, 1989, which Plan established guidelines and standards for future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, the Council reaffirmed and endorsed the planning principles set forth in the Plaza Urban Design and Development Plan through the adoption of Resolution No. 951550 on November 9, 1995; and

WHEREAS, the Council amended the Plaza Urban Design and Development Plan through the adoption of Committee Substitute for Resolution No. 970036 on February 24, 1997, amended the Plan on October 28, 1999, through the adoption of Committee Substitute for Resolution No. 991200, amended the Plan on August 8, 2000, through the adoption of Resolution No. 000630, amended the Plan on March 15, 2001, through the adoption of Resolution No. 010282; amended the Plan on April 3, 2003, through the adoption of Resolution No. 030325; and further amended the Plan on April 17, 2003, through the adoption of Resolution No. 030344; and

WHEREAS, due to certain changes, it is desirable to modify certain components of the Plaza Urban Design and Development Plan by amending the Plaza Area Planning Recommendations Map, the Northwest Quadrant Planning Recommendations Map, the Urban Design Area A: The Madison/Bellevue Corridor Map, the Urban Design Area D: Jefferson to Wornall Map and associated text and deleting Area E: Madison to Washington, 43rd Street to 44th Street Map and associated text as it affects an area generally bounded by Westport Road to the north, 46th Terrace to the south, J.C. Nichols Parkway to the east and Madison Avenue to the west, by changing the recommended land use from potential redevelopment areas, approved development project, potential redevelopment within existing zoning and no recommended rezoning to uses recommended in the Plaza-Westport Neighborhood Plan; and

WHEREAS, public notice of a hearing before the City Plan Commission was published on April 19, 2004; and

WHEREAS, the City Plan Commission considered the amendment to the Plaza Urban Design and Development Plan at its hearing on May 4, 2004; and

WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did on May 4, 2004, recommend approval of the proposed amendment to the Plaza Urban Design and Development Plan; NOW, THEREFORE,

040617

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the amendment to the Plaza Urban Design and Development Plan is hereby amended by repealing the urban design and development plan and maps and approving a new urban design and development and maps which changes the recommended land uses for an area generally bounded by Westport Road to the north, 46th Terrace to the south, J. C. Nichols Parkway to the east and Madison avenue to the west from potential redevelopment areas, approved development project, potential redevelopment within existing zoning and no recommended rezoning to uses recommended in the Plaza-Westport Neighborhood Plan. A copy of the amendment to the Plaza Urban Design and Development Plan is on file in the office of the City Clerk under Document No. 040617 and is incorporated herein by reference.

Section B. That this amendment to the Plaza Urban Design and Development Plan is consistent and complies with the FOCUS Kansas City Plan, adopted on October 30, 1997, by Committee Substitute for Resolution No. 971298, and is adopted as a supplement to the FOCUS Kansas City Plan.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by law have been given and had.



Authenticated as Passed

Kay Barnes
KAY BARNES, Mayor

[Signature]
City Clerk

DATE PASSED JUN 24 2004

040617

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

RESOLUTION NO. 041239

Approving an amendment to the Plaza Urban Design and Development Plan by changing the land use recommendation for an approximately .16 acre tract of land generally located at 4810 Belleview Avenue from potential redevelopment within existing zoning to limited redevelopment with specific guidelines. (225-S-16)

WHEREAS, the Council adopted the Plaza Urban Design and Development Plan through the passage of Resolution No. 63190, as amended, on June 1, 1989, which Plan established guidelines and standards for future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, the Council reaffirmed and endorsed the planning principles set forth in the Plaza Urban Design and Development Plan through the adoption of Resolution No. 951550 on November 9, 1995; and

WHEREAS, the Council amended the Plaza Urban Design and Development Plan through the adoption of Committee Substitute for Resolution No. 970036 on February 24, 1997, amended the Plan on October 28, 1999, through the adoption of Committee Substitute for Resolution No. 991200, amended the Plan on August 8, 2000, through the adoption of Resolution No. 000630, amended the Plan on March 15, 2001, through the adoption of Resolution No. 010282; amended the Plan on April 3, 2003, through the adoption of Resolution No. 030325; amended the Plan on April 17, 2003, through the adoption of Resolution No. 030344; and further amended the Plan on June 24, 2004, through the adoption of Resolution No. 040617; and

WHEREAS, because of planning and other considerations, it has become necessary and desirable to make certain modifications to the land uses, guidelines and standards set forth in the Plaza Urban Design and Development Plan, by changing the land use recommendation for an approximately .16 acre tract of land generally located at 4810 Belleview Avenue from potential redevelopment within existing zoning to limited redevelopment with specific guidelines; and

WHEREAS, public notice of a hearing before the City Plan Commission was published on September 20, 2004; and

WHEREAS, the City Plan Commission considered the amendment to the Plaza Urban Design and Development Plan at its hearing on October 5, 2004; and

WHEREAS, after all interested persons were given an opportunity to present testimony, the City Plan Commission did on October 5, 2004, recommend approval of the proposed amendment to the Plaza Urban Design and Development Plan; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the Plaza Urban Design and Development Plan is hereby amended by repealing the urban design and development plan and maps and approving a new urban design and development plan and maps which changes the recommended land uses for an approximately .16 acre tract of land generally located at 4810 Bellevue Avenue from potential redevelopment within existing zoning to limited redevelopment with specific guidelines. A copy of the amendment to the Plaza Urban Design and Development Plan is on file in the office of the City Clerk under Document No. 040617 and is incorporated herein by reference.

Section B. That this amendment to the Plaza Urban Design and Development Plan is consistent and complies with the FOCUS Kansas City Plan, adopted on October 30, 1997, by Committee Substitute for Resolution No. 971298, and is adopted as a supplement to the FOCUS Kansas City Plan.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices and hearings required by law have been given and had.

Authenticated as Passed



Kay Barnes
KAY BARNES, Mayor

Shirley D. [Signature]
City Clerk

DATE PASSED DEC 09 2004

RESOLUTION NO. 050861

Approving an amendment to the Plaza Urban Design and Development Plan for the future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west. (225-S-17).

WHEREAS, the Council adopted the Plaza Urban Design and Development Plan through the passage of Resolution No. 63190, as amended, passed June 1, 1989, which Plan established guidelines and standards for future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, because of planning and other considerations it has become necessary and desirable to make certain modifications to guidelines set forth in the Plaza Urban Design and Development Plan and specifically those relating to the Planning Area C and the area bounded by 48th Street, Bellevue Avenue, Ward Parkway and Roanoke Parkway; and

WHEREAS, the Council desires to allow maximum building heights of six stories or 80 ft. on the Bellevue Avenue frontage and ten stories or 150 ft. on the Roanoke Parkway frontage, and allow access to parking areas from Bellevue Avenue. Furthermore, the Council desires to add additional guidelines to Planning Area C for the block bounded by Ward Parkway, 48th Street, Bellevue Avenue, and Roanoke Parkway which will preserve and protect the residential neighborhoods west of Bellevue Avenue as identified in the attached Plaza Urban Design and Development Plan; and

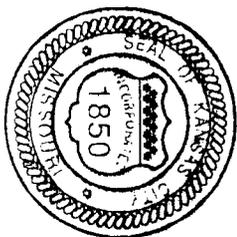
WHEREAS, legal notice of the public hearing before the City Plan Commission was published in conformity with state and local laws; and

WHEREAS, the City Plan Commission did hold public hearings and did recommend approval on June 21, 2005, of the amendment to the Plaza Urban Design and Development Plan and to the land uses, guidelines and standards contained in said amendment; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the amendment to the Plaza Urban Design and Development Plan be and the same is hereby adopted and approved by the City Council as a guide for future development and redevelopment of the area described therein. A copy of said plan is on file in the office of the City Clerk with this ordinance and incorporated herein by reference.

Section B. That the Council finds and declares that before taking any action on the proposed plan amendment hereinabove, all public notices and hearings required by law.



Authenticated as Passed

Kay Barnes
KAY BARNES, Mayor

Mary D. Clark
City Clerk

DATE PASSED **AUG 04 2003**

RESOLUTION NO. 110190

Amending the Plaza Urban Design and Development Plan, by changing the recommended land use on approximately 2.39 acres generally located on the east side of Broadway between W. 46th Terrace and W. 47th Street from “no recommended rezoning” to “limited redevelopment with specific guidelines.” (225-S-19).

WHEREAS, the Council adopted the Plaza Urban Design and Development Plan through the passage of Resolution No. 63190, as amended, adopted June 1, 1989, which Plan established guidelines and standards for future development and redevelopment of the area generally bounded by 43rd Street on the north, Paseo Boulevard on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, the Council reaffirmed and endorsed the planning principles set forth in the Plaza Urban Design and Development Plan through the adoption of Resolution No. 951550 on November 9, 1995; and

WHEREAS, the Council amended the Plaza Urban Design and Development Plan through the adoption of Committee Substitute for Resolution No. 970036 on February 24, 1997, amended the Plan on October 28, 1999, through the adoption of Committee Substitute for Resolution No. 991200, amended the Plan on August 8, 2000, through the adoption of Resolution No. 000630, amended the Plan on March 15, 2001, through the adoption of Resolution No. 010282, amended the Plan on April 3, 2003, through the adoption of Resolution No. 030325, amended the Plan on April 17, 2003, through the adoption of Resolution No. 030344, amended the Plan on January 15, 2004, through the adoption of Resolution No. 031377, amended the Plan on February 26, 2004, through the adoption of Resolution No. 040048, amended the Plan on June 24, 2004, through the adoption of Resolution No. 040617, amended the Plan on December 9, 2004, through the adoption of Resolution No. 041239, amended the Plan on August 4, 2005, through the adoption of Resolution No. 050861, and further amended the Plan on November 6, 2008, through the adoption of Resolution No. 081042; and

WHEREAS, because of planning and other considerations, it has become necessary and desirable to make certain modifications to the land uses, guidelines and standards set forth in the Plaza Urban Design and Development Plan, specifically relating to that area located on the east side of Broadway between W. 46th Terrace and W. 47th Street, by changing the recommended land use from “no recommended rezoning” to “limited redevelopment with specific guidelines”; and

WHEREAS, legal notice of the public hearing before the City Plan Commission was published in conformity with state and local laws; and

WHEREAS, the City Plan Commission did hold public hearings and did recommend denial on February 15, 2011, of the amendment to the Plaza Urban Design and Development Plan and to the land uses, guidelines and standards contained in said amendment; NOW, THEREFORE:

RESOLUTION NO. 110190

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the Plaza Urban Design and Development Plan is hereby amended by changing the recommended land use on approximately 2.39 acres generally located on the east side of Broadway between W. 46th Terrace and W. 47th Street and more specifically described below from "no recommended rezoning" to "limited redevelopment with specific guidelines":

All of Lot 1, The Neptune Condominiums, a condominium subdivision, and all that part of Lot 1, Wornall Park Resurvey, a subdivision of land, both being in the Northwest Quarter of Section 29, Township 49 North, Range 33 West, of the 5th Principal Meridian in Kansas City, Jackson County, Missouri; being bounded and described as follows: Beginning at the Northwest corner of Lot 1 of said Wornall Park Resurvey; thence South 87 degrees 39 minutes 42 seconds East, along the Northerly line of said Lot 1, 353.36 feet; thence Southwesterly, continuing along said Northerly line, along a curve to the right having an initial tangent bearing of South 21 degrees 15 minutes 11 seconds West, with a radius of 172.05 feet, a central angle of 08 degrees 48 minutes 46 seconds and an arc distance of 26.46 feet; thence South 60 degrees 12 minutes 47 seconds East, continuing along said Northerly line, 131.47 feet to the Northeast corner of said Lot 1; thence Southwesterly; along the Easterly line of said Lot 1, along a curve to the right, having an initial tangent bearing of South 29 degrees 47 minutes 13 seconds West with a radius of 303.37 feet, a central angle of 38 degrees 55 minutes 53 seconds and an arc distance of 206.13 feet; thence South 19 degrees 05 minutes 23 seconds East, continuing along said Easterly line, 3.34 feet; thence Southwesterly, continuing along said Easterly line, along a curve to the left, having an initial tangent bearing of South 56 degrees 23 minutes 13 seconds West with a radius of 60.50 feet, a central angle of 46 degrees 04 minutes 13 seconds and an arc distance of 48.65 feet; thence South 10 degrees 18 minutes 49 seconds West, continuing along said Easterly line 9.42 feet; thence North 87 degrees 24 minutes 40 seconds West, 287.78 feet to a point on then Easterly right-of-way line of Broadway, as now established; thence North 02 degrees 24 minutes 53 seconds East, along said right-of-way line, 274.75 feet to the Point of Beginning. Containing 103,987 square feet or 2.39 acres, more or less,

all as shown outlined on a map marked Plaza Area Plan, as amended, which is attached hereto and made a part hereof; and which is hereby adopted as a part of an amendment to the aforesaid plan.

Section B. This amendment to the Plaza Urban Design and Development Plan is consistent and complies with the FOCUS Kansas City Plan, adopted on October 30, 1997, by Committee Substitute for Resolution No. 971268, and is adopted as a supplement to the FOCUS Kansas City Plan.

RESOLUTION NO. 110190

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices have been given and hearings required by the Zoning Ordinance have been held.



Authenticated as Passed

Sly James, Mayor

Vickie Thompson-Carr, City Clerk

MAY 05 2011

Date Passed

Veto
Date 4-29-11



Authenticated as Passed

~~Mark Funkhouser, Mayor~~

Vickie Thompson-Carr, City Clerk

APR 28 2011

Date Passed

COMMITTEE SUBSTITUTE FOR RESOLUTION NO. 120464

Amending the Plaza Urban Design and Development Plan, for the future development and redevelopment of the area generally bounded by 50th Street on the north, 51st Street on the south, Main Street on the east and Baltimore on the west, to recommend "limited redevelopment within specific guidelines" instead of no "recommended rezoning" and "Potential Redevelopment Within Existing Zoning" as well as to recommend an increase in the maximum recommended building height for this site. (225-S-20).

WHEREAS, the Council adopted the Plaza Urban Design and Development Plan through the passage of Resolution No. 63190, as amended, adopted June 1, 1989, which Plan established guidelines and standards for future development and redevelopment of the area generally bounded by 43rd Street on the north, Pasco Boulevard on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, the Council reaffirmed and endorsed the planning principles set forth in the Plaza Urban Design and Development Plan through the adoption of Resolution No. 951550 on November 9, 1995; and

WHEREAS, the Council amended the Plaza Urban Design and Development Plan through the adoption of Committee Substitute for Resolution No. 970036 on February 24, 1997, amended the Plan on October 28, 1999, through the adoption of Committee Substitute for Resolution No. 991200, amended the Plan on August 8, 2000, through the adoption of Resolution No. 000630, amended the Plan on March 15, 2001, through the adoption of Resolution No. 010282, amended the Plan on April 3, 2003, through the adoption of Resolution No. 030325, amended the Plan on April 17, 2003, through the adoption of Resolution No. 030344, amended the Plan on January 15, 2004, through the adoption of Resolution No. 031377, amended the Plan on February 26, 2004, through the adoption of Resolution No. 040048, amended the Plan on June 24, 2004, through the adoption of Resolution No. 040617, amended the Plan on December 9, 2004, through the adoption of Resolution No. 041239, amended the Plan on August 4, 2005, through the adoption of Resolution No. 050861, amended the Plan on November 6, 2008, and further amended through the adoption of Resolution No. 081042; and

WHEREAS, because of planning and other considerations, it has become necessary and desirable to make certain modifications to the land uses, guidelines and standards set forth in the Plaza Urban Design and Development Plan, specifically relating to that area generally bounded by 50th Street on the north, 51st Street on the south, Main Street on the east and Baltimore on the west located, to recommend "limited redevelopment within specific guidelines" instead of no "recommended rezoning" and "Potential Redevelopment Within Existing Zoning" as well as to recommend an increase in the maximum recommended building height for this site; and

WHEREAS, legal notice of the public hearing before the City Plan Commission was published in conformity with state and local laws; and

COMMITTEE SUBSTITUTE FOR RESOLUTION NO. 120464

WHEREAS, the City Plan Commission did hold public hearings and did recommend approval on April 17, 2012, of the amendment to the Plaza Urban Design and Development Plan and to the land uses, guidelines and standards contained in said amendment; NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF KANSAS CITY:

Section A. That the Plaza Urban Design and Development Plan is hereby amended for the area generally bounded by 50th Street on the north, 51st Street on the south, Main Street on the east and Baltimore on the west, to recommend "limited redevelopment within specific guidelines" instead of no "recommended rezoning" and "Potential Redevelopment Within Existing Zoning" as well as to recommend an increase in the maximum recommended building height for this site.

Section B. This amendment to the Plaza Urban Design and Development Plan is consistent and complies with the FOCUS Kansas City Plan, adopted on October 30, 1997, by Committee Substitute for Resolution No. 971268, and is adopted as a supplement to the FOCUS Kansas City Plan.

Section C. That the Council finds and declares that before taking any action on the proposed amendment hereinabove, all public notices have been given and hearings required by the Zoning Ordinance have been held.



Authenticated as Passed

Sly James
Sly James, Mayor

Vickie Thompson-Carr
Vickie Thompson-Carr, City Clerk

JUN 14 2012

Date Passed

RESOLUTION NO. 121049

Amending the Plaza Urban Design and Development Plan, for the future development and redevelopment of about 1.1 acres generally located on the east side of Bellevue Avenue about 200 feet north of W. 48th Street, to recommend "limited redevelopment with specific guidelines" instead of "limited redevelopment within existing zoning" (225-S-21).

WHEREAS, the Council adopted the Plaza Urban Design and Development Plan through the passage of Resolution No. 63190, as amended, adopted June 1, 1989, which Plan established guidelines and standards for future development and redevelopment of the area generally bounded by 43rd Street on the north, Pasco Boulevard on the east, 55th Street on the south and State Line Road on the west; and

WHEREAS, the Council reaffirmed and endorsed the planning principles set forth in the Plaza Urban Design and Development Plan through the adoption of Resolution No. 951550 on November 9, 1995; and

WHEREAS, the Council amended the Plaza Urban Design and Development Plan through the adoption of Committee Substitute for Resolution No. 970036 on February 24, 1997, amended the Plan on October 28, 1999, through the adoption of Committee Substitute for Resolution No. 991200, amended the Plan on August 8, 2000, through the adoption of Resolution No. 000630, amended the Plan on March 15, 2001, through the adoption of Resolution No. 010282, amended the Plan on April 3, 2003, through the adoption of Resolution No. 030325, amended the Plan on April 17, 2003, through the adoption of Resolution No. 030344, amended the Plan on January 15, 2004, through the adoption of Resolution No. 031377, amended the Plan on February 26, 2004, through the adoption of Resolution No. 040048, amended the Plan on June 24, 2004, through the adoption of Resolution No. 040617, amended the Plan on December 9, 2004, through the adoption of Resolution No. 041239, amended the Plan on August 4, 2005, through the adoption of Resolution No. 050861, amended the Plan on November 6, 2008, through the adoption of Resolution No. 081042; and further amended the Plan on June 14, 2012, through the adoption of Resolution No. 120464; and

WHEREAS, because of planning and other considerations, it has become necessary and desirable to make certain modifications to the land uses, guidelines and standards set forth in the Plaza Urban Design and Development Plan, specifically relating to about 1.1 acres generally located on the east side of Bellevue Avenue about 200 feet north of W. 48th Street, to recommend "limited redevelopment with specific guidelines" instead of "limited redevelopment within existing zoning"; and

WHEREAS, legal notice of the public hearing before the City Plan Commission was published in conformity with state and local laws; and

WHEREAS, the City Plan Commission did hold public hearings and did recommend approval on July 3, 2012, of the amendment to the Plaza Urban Design and

The Plaza Urban Design and Development Plan

Approved by
City Council
Resolution No. 63190
June 1, 1989

Adopted by
the City Plan Commission
March 1, 1988

Prepared by
the City Development Department
in association with
Jonathan Barnett, FAIA, AICP,
Urban Design Consultant

**Planning and Urban Design Division
City Development Department
City of Kansas City, Missouri**

Mayor
Richard L. Berkley

Members of the City Council

Mark Bryant
Emanuel Cleaver
Dan Cofran
Joanne M. Collins
Charles A. Hazley
Robert M. Hernandez
Sally Johnson
Robert Lewellen
Frank Palermo
John A. Sharp
Katheryn Shields
Chuck Weber

City Manager
David H. Olson

City Development Department

John W. Laney, Assistant City Manager and Director

City Plan Commission

James B. Chappell, Chairman
Thomas F. Gordon, Vice Chairman
Lorene House
Walker LaBrunerie
Vicki Noteis
Joe Serviss
Ronald Yaffee
Former Member:
Thompson C. Nelson

Preface

The Country Club Plaza is known throughout the United States as one of the major visitor attractions in the Kansas City metropolitan area. The Plaza area serves several other important functions for Kansas City. It is a regional shopping center, a recreational center, a cultural center, an office and employment center, a residential center, and a focal point of civic pride.

Current development activity and continued interest in redevelopment have increased attention on the Plaza area. The City Development Department prepared this plan to address the current development and design issues that have surfaced over the last few years. This plan covers the area from 43rd Street to 55th Street, State Line to the Paseo.

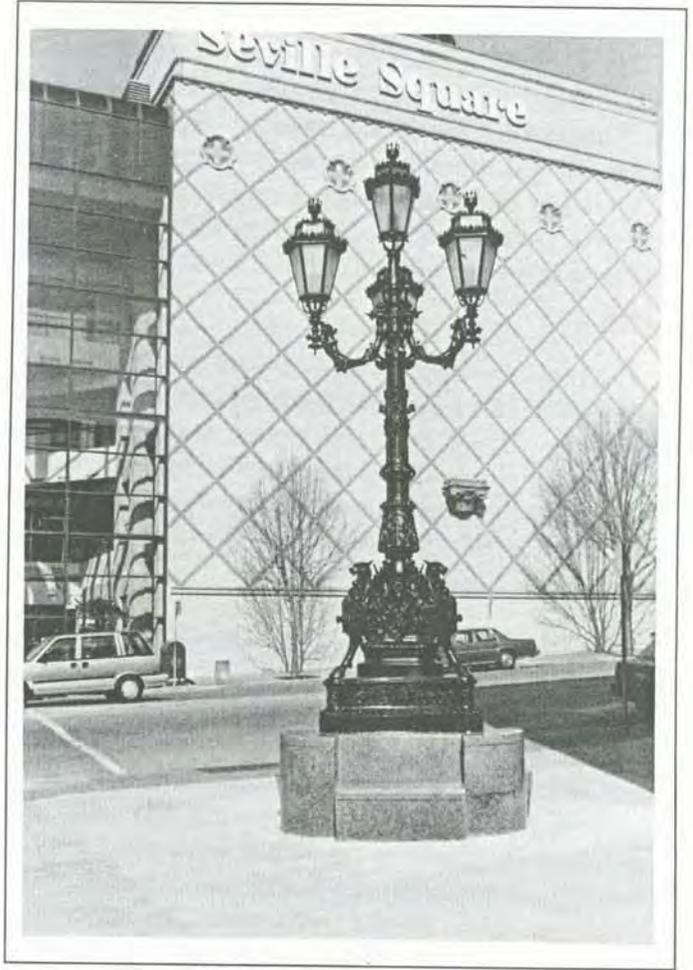
During the planning process, the staff of the City Development Department and Jonathan Barnett, an urban design consultant, met with representatives of neighborhoods, business associations, developers, institutions, and other interested individuals to encourage public participation in preparing this plan. Also contacted for planning assistance were other City departments, including the Parks and Recreation Department, Public Works Department, Transportation Department, and the Water and Pollution Control Department.

This plan has been prepared by Wayne Feuerborn and Patricia McGowan under the supervision of Judy Hansen, Chief of the Planning and Urban Design Division of the City Development Department. Bruce Fowler, Bob Miklo, and John Eckardt of the City Development Department also provided valuable assistance. Jonathan Barnett provided assistance with the land use, transportation, and open space recommendations.

Carolyn Case, Shockey Franciscus, and Regina Rodina provided invaluable assistance in the preparation of maps and in the final layout and design of this report.

We would like to thank all those who participated for their valuable contributions to this plan.

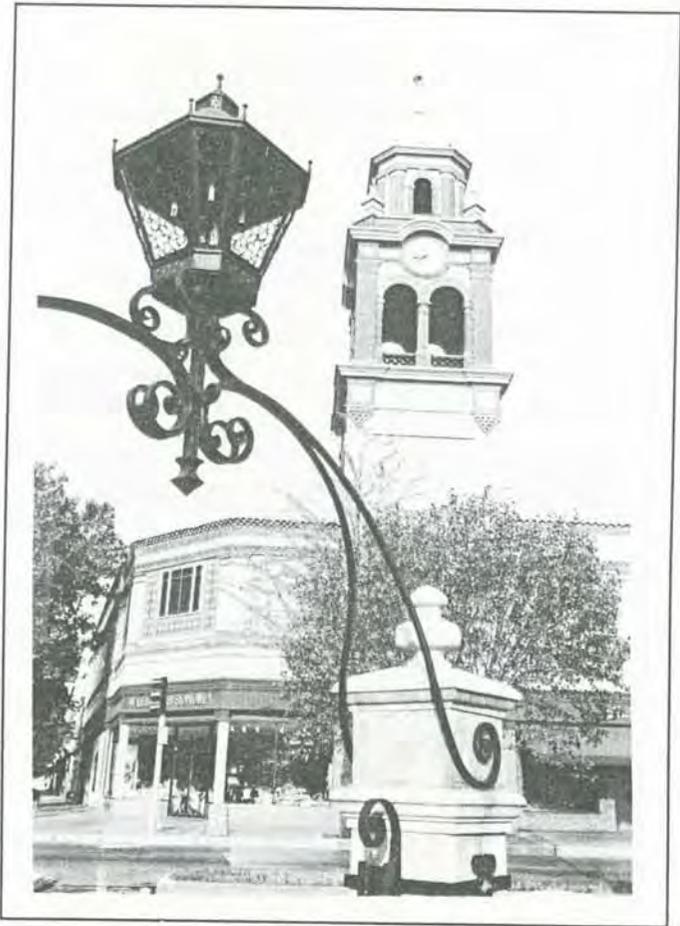
Finally, as conditions in the Plaza area change in the future, it may be necessary from time to time to amend the Plaza Urban Design and Development Plan. We encourage those persons interested in this area to stay in regular contact with the City Development Department so that they may be made aware of any changes in the plan.



The Country Club Plaza

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The Country Club Plaza

1. Introduction

The Country Club Plaza is a very special area of Kansas City. Designed as an outdoor shopping center, the Plaza is composed of low-rise buildings with a Spanish-architectural theme, ornate towers, cream-colored stucco storefronts and clay tile roofs. Works of art, sculpture and fountains enrich and beautify the sidewalks and public spaces. The Plaza has evolved into a regional shopping and restaurant district enjoyed by Kansas Citians and visitors alike. The Plaza area is also a popular place to live, with a diversity of housing options, and is one of the few high-rise residential areas of Kansas City. All of these elements have combined to make the Plaza area an outstanding example of a well-designed environment and a focal point of civic pride.

In addition to the Country Club Plaza, the areas around the Plaza and the existing residential neighborhoods create a very dynamic area of Kansas City. The areas around the Country Club Plaza serve several important functions for Kansas City: a cultural center with the Nelson-Atkins Museum of Art, the Kansas City Art Institute and the summer Concerts in the Parks series; an education center including the University of Missouri-Kansas City and Rockhurst College; and an institutional center with St. Luke's and Menorah Hospitals and the Midwest Research Institute. In recent years the Plaza has emerged as a desirable location for office building and luxury housing development. The Plaza area also contains many city parks and boulevards, as well as a variety of stable, well-kept neighborhoods. This very popular area of Kansas City is the subject of this planning study.

Many of the significant decisions that shaped the Plaza area were made during the first two decades of this century. They were sound planning decisions and have served the area well. However, since 1982, a new set of conditions has emerged which requires a new plan to guide the form of future development in the Plaza area. These new conditions include:

- The emergence of the Country Club Plaza as a regional shopping center, instead of a neighborhood shopping area.
- The greatly increased interest in new office space in the Plaza.
- The growth of the University of Missouri-Kansas City and other institutions including St. Luke's and Menorah Hospitals.
- The continued demand for moderate-cost apartments and single-family housing in the Plaza area.
- The new interest in luxury apartments and condominium units.
- The need to establish new traffic patterns to accommodate increased growth.
- The flood control changes that need to be made to Brush Creek, in light of the 1977 flood.

Recent transformations in the Plaza area

Purpose of this Plan

Conserve the outstanding amenities of the Plaza area

As a result of this increased interest in development, as well as the Plaza area's uniqueness and importance to Kansas City, the City Development Department undertook the preparation of this plan. This plan seeks to maintain the quality and character of the Plaza area and to ensure that new development respects the important design features that already exist in the Plaza area.

The goal before the City is to conserve the outstanding amenities of the Plaza area--such as the charm of the shopping area, the stability of nearby residential neighborhoods, and the beauty of the parks and boulevards--while accommodating growth and change. Strategies for future development are outlined within this plan so that new development will contribute to the existing environment.

Existing City plans, prepared prior to 1982, had not anticipated the current development interest around the Country Club Plaza. The City Development Department's role is to respond to current development interest, by updating and amending existing City plans. The issues that should be addressed when updating these plans include land use, neighborhoods, urban design, open space, circulation and historic preservation. This plan examines these issues and suggests planning policies to guide future development by doing the following:

1. Taking a comprehensive look at the effects of increased development and making planning recommendations about future development for the entire Plaza area. (See the Land Use Chapter on page 32.)

2. Establishing planning recommendations to assist neighborhoods in planning, stabilization, and conservation efforts. (See the Neighborhood Chapter on page 23.)

3. Establishing planning and urban design recommendations that the staff of the City Development Department, the City Plan Commission and the City Council can use to evaluate future development proposals for the entire Plaza area. (See the Urban Design Concepts on page 13 and Urban Design Guidelines Chapters on page 67.)

4. Publishing planning recommendations so developers, neighborhoods, and other interest groups are aware of the City's plans and policies for development, rezoning and conservation in the Plaza area before redevelopment is proposed.

5. Updating and coordinating existing City plans including water, sewer, open space and transportation plans so that the impacts of development are evaluated when infrastructure improvements are being planned.

6. Providing an up-to-date summary of public and private development which is occurring in the Plaza area. (See the Plaza Area Development Chapter on page 8.)

The Relationship of this Plan to other City Plans

The City Development Department prepares two general types of plans: city-wide and area-specific. These plans, when taken together, comprise the City's Comprehensive Plan. Examples of city-wide plans are the Major Street Plan, the Public Facilities Plan, the Parks and Boulevards Plan (prepared by the staff of the Board of Parks and Recreation Commissioners), and A City Plan for Urban Design and Development. Examples of area-specific plans are Area Plans, Neighborhood Plans and Project Plans. The entire city is divided into planning areas and an Area Plan is prepared for each of these areas. Area Plans take a comprehensive look at all aspects of the physical environment and make planning recommendations. Neighborhood plans are for smaller areas and are usually more detailed. Project plans (like the Plaza Plan) are done for areas usually larger than a neighborhood and in response to a specific need. In the case of the Plaza area, the need was to respond to the growing pressure for development. The project plan does not necessarily cover all aspects of the physical environment, but only those aspects related to the need being addressed. In the case of the Plaza Plan, planning issues are studied as they relate to current and future development potential in the Plaza area. These issues include: land use, neighborhood conservation, urban design, open space, transportation, and historic preservation.



The Country Club Plaza

The Study Area

Planning Boundaries

The planning study area is from 43rd Street to 55th Street, State Line to The Paseo. During the initial stage of the planning process when issues of concern in the Plaza area were being identified, the study area was divided into four quadrants. This was done because of the large study area size, the diversity of existing neighborhoods, and the different types of development occurring within the Plaza area. Separating the Plaza area into quadrants was also effective for obtaining public participation and community input that pertained to smaller, more specific areas around the Country Club Plaza.

Planning and urban design recommendations were made for each of the quadrants, and were presented in interim reports throughout the planning process.

Quadrants Descriptions

- The **northeast quadrant** is the area from Mill Creek Park to The Paseo, 43rd Street to Volker Boulevard.

- The **northwest quadrant** is the area from Mill Creek Park to State Line, 43rd Street to 47th Street, plus the area from 47th Street to Ward Parkway, between Roanoke Parkway and State Line.

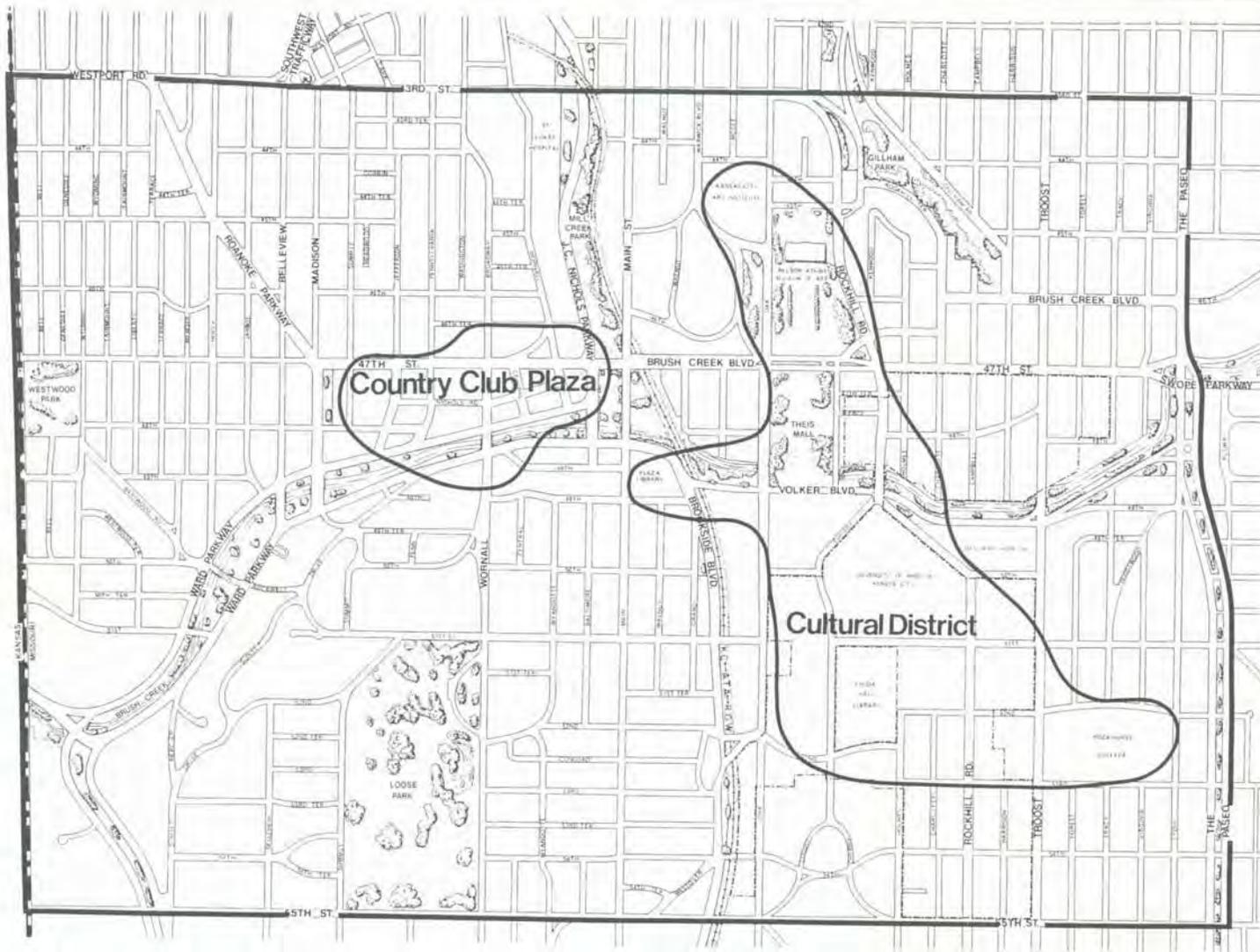
- The **southern quadrants** were combined into one study area from 49th Street to 55th Street, State Line to The Paseo.

For this plan, the term 'Country Club Plaza' will be used to refer to the shopping, restaurant, hotel, and office area developed by the J.C. Nichols Company and encircled on the Study Area Map on page 5. The term 'Plaza area' will be used to refer to the rest of the study area surrounding the Country Club Plaza.

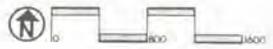
The recommendations outlined in the interim quadrant reports have been synthesized and are presented as recommendations throughout the remainder of this report.



The Country Club Plaza



- Legend**
- Study Area Boundary
 - State Line
 - University of Missouri-Kansas City Planning Boundaries
 - Parks and Boulevards
 - Kansas City Area Transit Authority Right-of-Way



Study Area

History of the Plaza Area

The History Of The Country Club Plaza and The Plaza Area

The development of the Country Club District, as planned by J.C. Nichols, began at the turn-of-the-century. Several residential neighborhoods located south of Brush Creek were planned with curved streets, neighborhood parks, comprehensive landscaping with statuary located at neighborhood entries, and architecturally compatible houses. All of these elements combined to create unified neighborhoods with desirable amenities. This type of neighborhood planning worked well with the Park and Boulevard system being developed and built by the Kansas City Board of Park Commissioners in the early 1900's.

By the 1920's the J.C. Nichols Co. planned a retail business district to provide shops and services for nearby residents. The master plan for the Country Club Plaza was completed in 1922, and the following year, the first shops opened. The Country Club Plaza is regarded as the first planned suburban shopping district in the United States, and also as the first shopping area to accommodate the automobile. The Plaza shopping area was intended to attract customers from all of the new surrounding neighborhoods. The area was also significant because it was designed as a special area with a unifying architectural theme of ornate towers, cream-colored stucco, decorative ironwork and tile roofs. Art, sculpture and fountains also brought special character and quality to the Country Club Plaza. Once shoppers parked their automobiles, they entered a pedestrianized area that was easy to walk through, with wide sidewalks and shady street trees.

While the shopping area developed, the construction of tall apartment buildings to the west and south of the Country Club Plaza in the late 1920's, and more recently to the northeast,

formed a ring of taller buildings around the Plaza shops. This ring of taller buildings around the two-story retail shops has given a bowl-shaped character to the Plaza area that was, and continues to be, a predominant design characteristic of Plaza area development. This bowl shaped character of low buildings in the Brush Creek valley and taller buildings on the slopes north and south of the Plaza created dramatic views, a sense of enclosure and a transition in building heights.

Numerous cultural and institutional facilities also emerged in the area. The Nelson-Atkins Museum of Art opened in 1933 within walking distance of the Plaza and adjacent to the Kansas City Art Institute. Institutions such as The University of Missouri-Kansas City, Midwest Research Institute, and Rockhurst College developed, which expanded the growth of the Plaza district. St. Luke's and Menorah Hospitals also selected locations in the Plaza area. These major institutions, coupled with continued residential and park development, reinforced the Country Club Plaza and contributed to the development of this very dynamic and desirable area of Kansas City.

The Plaza area continued to grow and change from the 1940's through the early 1970's. High-rise residential development continued to encircle the Country Club Plaza, and three major hotels located in the Plaza area during this time. In addition, the retail shops and the single-family neighborhoods continued to grow and prosper.

The most recent developments in the Plaza area started in the early 1980's when this area emerged as a desirable area for high-rise offices and luxury apartments. This will be discussed further in the Plaza Area Development Chapter on page 8.

In response to the increased development activity occurring in the Plaza area since the early 1980's, the City Development Department prepared a compendium of all the existing City plans for the area. These plans were published in a report titled the Country Club Plaza Area, issued in April, 1985. In addition to summarizing the existing plans for the area, the report also recommended further studies and the preparation of a new plan to guide development in the Plaza area. Several planning issues were identified as needing further study; the following is a brief summary of how these issues were studied:

1. Water and sewer systems - The Water and Pollution Control Departments analyzed the water and sewer systems in the Plaza area based on anticipated development.

2. Major streets and transportation improvements - The Transportation Department has undertaken numerous studies of traffic demand in the Plaza area and has recommended several needed roadway improvements. The City Development Department is preparing a revised Major Street Plan based on these studies.

3. Flood control improvements to Brush Creek - Monthly meetings are being held with the Corps of Engineers and several City departments to coordinate the flood control improvements. The Parks and Recreation Department has retained a design consultant to recommend landscape architectural and aesthetic improvements as part of the flood control project. The Corps of Engineers is integrating these landscape recommendations into their plans. The landscape and engineering improvements have been included in the capital improvements requests of the Parks and Recreation Department.

4. Urban Design - Jonathan Barnett, an urban design

consultant retained by the City Development Department, helped coordinate the planning process and address urban design and planning issues. The Plaza area was divided into three smaller study areas; committees were formed, composed of neighborhood leaders, business organizations, developers, interested citizens, and institutions. The committees gave valuable input about their ideas and issues of concern for the areas and were active in reviewing the planning and urban design recommendations for each area.

5. Parking - The staff of the City Development and Transportation Departments conducted several field analyses of parking in the Plaza area in an effort to identify deficiencies in available off-street parking.

6. Housing market - The City Development Department contracted with Applied Real Estate Analysis, Inc. to conduct a housing market study of the Plaza area in order to analyze the demand for luxury housing and the relocation options available for people displaced by redevelopment projects in the Plaza area. The market study found adequate relocation housing in good condition and at rents comparable to those on the Plaza area. Therefore, there was no further consideration of the relocation market in this plan.

All of these studies were utilized in the preparation of this plan. In addition, the recommendations of this plan have been used to review specific project proposals that have been submitted to the City Plan Commission during the preparation of this plan. Those projects include: the Brush Creek Redevelopment (R.H. Sailors') project, the UMKC North Campus project, the Plaza Steps project, the Kirkwood Circle project, and the Madison Plaza project.

Planning Studies

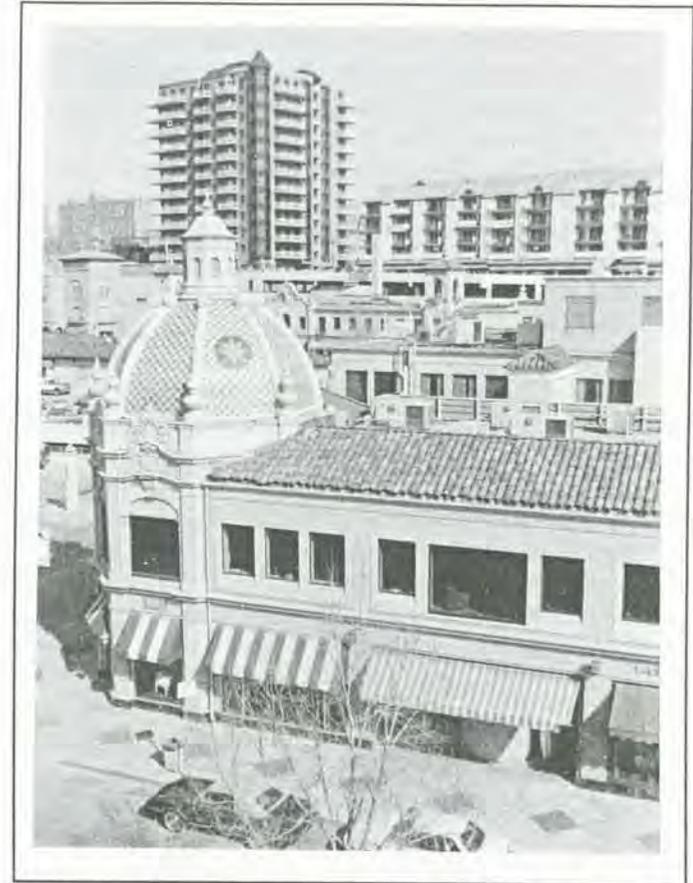
2. Plaza Area Development

The Strategic Role of the Plaza Area in Kansas City

In order to undertake a comprehensive evaluation of the Plaza area, it is important to understand the role of this area within the context of the metropolitan area. The current role of the Country Club Plaza and surrounding area is as a regional shopping area as well as a high-rise residential and office center. Its role is not to function as the primary central business district. Downtown Kansas City is the urban core of the metropolitan region, and serves as the major office and employment center, the government center and as the focus for convention and visitor activities. However, as new residential neighborhoods have grown predominantly to the southern part of the City, and as new office and shopping centers have developed in the suburbs, downtown Kansas City has become one of many centers.

Kansas City today has a string of commercial districts running roughly north to south, each performing some of the functions of a traditional downtown. These commercial districts include the office center near KCI Airport, Downtown itself, Crown Center, Westport, the Plaza area, Waldo, the office and shopping district on Ward Parkway, the office development along I-435, as well as the major office and retail development that has taken place across the state line. The Plaza area is well located to serve a large part of the metropolitan area. The development of the Plaza area is an important asset to Kansas City; future development will be closely monitored by the City Development Department.

Like most other cities, Kansas City must compete with its suburbs for economic development. It is critical for the survival of the city that traditional downtown activities remain within the city limits, because they provide a major component of the property tax base, provide jobs and contribute to the health and stability of residential neighborhoods. The increased office, hotel and residential development in the Plaza area has positive effects for the city, but must be well designed and carefully directed so the end result is in keeping with the attributes that now make the Plaza such a desirable area of Kansas City.



High-rise residential development north of the Plaza

Development in the Plaza area has never been static; the area has continued to grow and evolve from the original core of the Country Club Plaza. In recent years, the Plaza area has emerged as a prime area for office buildings and high-density residential development. Since the early 1970's, the Country Club Plaza has been transformed from a neighborhood retail district into one of Kansas City's most important commercial centers, with more than a million square feet of high-level specialty retailing, including the Halls department store, Saks Fifth Avenue and many boutique shops. Some residents of nearby areas miss the neighborhood stores that used to be located at the Plaza, but viewed from the perspective of the entire city, it is of great value to have this high-quality, speciality retailing center at the Plaza. In most comparable cities, if such retailing is no longer downtown, it has moved to a shopping mall out in the suburbs.

The recent growth of the Plaza area as an office center is also a highly desirable development. By having class A office space, the Plaza area now provides an alternative for office tenants who do not wish to locate downtown or in the suburbs. Since the early 1980's, approximately 1 million square feet of office space has been constructed and 500 hotel rooms have been completed in the Plaza area. Some of the major new office developments include: the Linclay Corporation's Main Plaza office and hotel project north of 45th and Main; the Property Company of America's office development west of 45th and Main; the Board of Trade expansion at 49th and Main; and the Plaza West office development at 46th Street between Madison and Bellevue. In addition, many projects have been approved that are either currently under construction or awaiting construction. Approved projects will total an additional 2.28 million square feet of office space.

The North Campus of the University of Missouri-Kansas City is another major change in the Plaza area with favorable implications for economic development. A research campus and office park of approximately 2.5 million square feet is planned for the area north of Brush Creek between Locust Street and Forest. (See the Development Projects map on page 11.)

The potential location of luxury housing at the Plaza to complement the office development is also a great competitive advantage for Kansas City. While no city should make land-use policies solely for the most privileged members of its society, the commitment of high-income wage earners to reside within the city is important for the tax base it provides. This commitment is also important because such people make location decisions about businesses and are likely to consider their own convenience in making these decisions. Since 1982, 350 new apartments and condominiums have been completed and 1,300 units of luxury housing have been approved. Several approved condominium projects are under construction including the Alameda Towers, two towers located south of the Alameda Plaza Hotel, and Townsend Place north of the Plaza along 46th Street Terrace. In addition, luxury single-family houses are being built southwest of the Plaza near Ward Parkway, in a development called Sunset Place.

The following chart and map will illustrate the development projects in the Plaza area which have been completed, approved or proposed since 1982. For more detailed information see the Appendix--Development Projects, page 98.



Recent Development Projects in the Plaza Area

Recent Transformations in the Plaza Area

Development Projects 1982-1988

SUMMARY OF RECENT DEVELOPMENT PROJECTS

Prior to 1982:

Office Space: 592,500 sf
Retail Space: 1,150,000, sf
Hotels: 3 hotels, 631 rooms
Luxury Residential Units: 500 units
(single-family not included)

1982-1988 Completed Projects:

Office Space: 1,197,832 sf
Retail Space: 21,500 sf (restaurants)
Hotels: 2 hotels, 373 rooms
Luxury Residential Units: 350 units, 380,095 sf

1982-1988 Approved by City Council and under construction in 1988:

Office Space: 302,500 sf
Luxury Residential Units: 110 units, 289,000 sf

1982-1988 Approved by City Council, and not yet under construction:

Office Space: 2,282,114 sf
UMKC Office Space: 2,500,000 sf
Retail Space: 153,000 sf
Hotels: 3 hotels, 772 rooms, 566,648 sf
Luxury Residential Units: 1,795 units, 2,383,925 sf

1982-1988 Proposed, not yet approved by City Plan Commission or City Council:

Office Space: 314,000 sf
Retail Space: 60,000 sf
Luxury Residential Units: 399 units, 380,986 sf

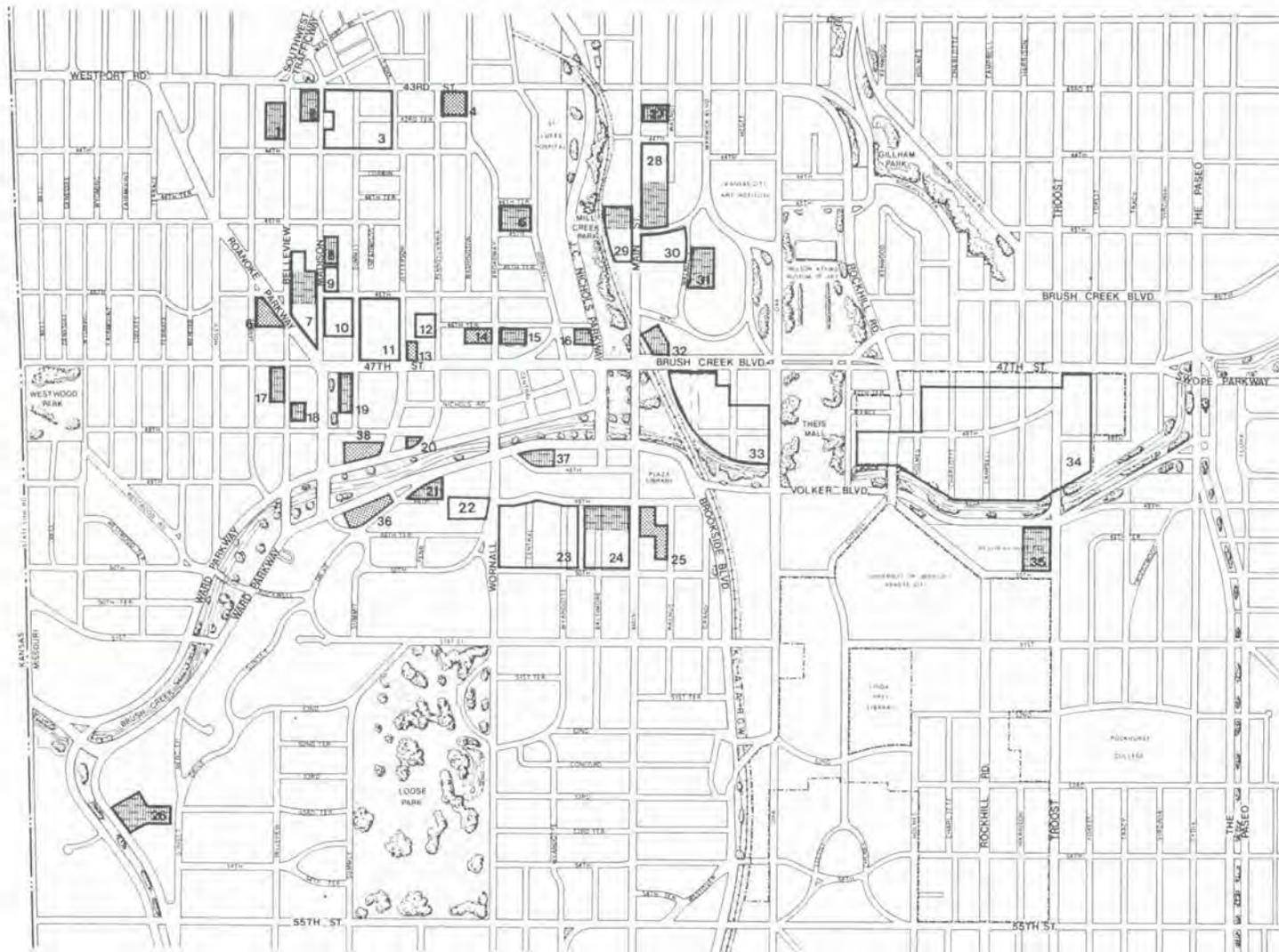
Potential Development, if maximum zoning is utilized on all identified development sites identified on page 37:

Office Space: 4,000,000 sf
Retail Space: 300,000 sf
Residential/Hotel Space: 1,700,000 sf

Summary

This dramatic increase in development throughout the Plaza area has led to the development of this plan. From the perspective of city-wide policy, trying to restrict development in the Plaza area to the uses established early in this century would have serious negative consequences. On the other hand, it would be possible to lose many of the attractive qualities of the Plaza area in the course of new development, which would also have serious negative consequences.

Here, again, is our challenge: how to shape the growth and change of the Plaza district so that it will be as good or better than before.



Legend

-  Completed
-  Approved and/or Under Construction
-  Proposed



Development Projects 1982-1988

3. Urban Design Concepts in the Plaza Area

Kansas Citians think of many images of the Country Club Plaza. Many envision two-story buildings of Spanish-style architecture with bell towers, cream-colored stucco facades and tile roofs. Some envision a pedestrianized outdoor shopping area enriched with sculpture, fountains, trees and outdoor cafes. Still others envision brick apartment buildings with ornate details and well-designed homes located within walking distance of the shopping area.

Collectively, all of these images make up the Country Club Plaza and create the ambience of the Plaza area. The major elements contributing to this ambience and forming the urban design character of the Plaza area include:

- Low-rise, two-to-three story buildings, with similarities in architectural style and materials, with bell towers or turrets often located at the corners,
- The continuity of shops and restaurants located along the public sidewalk at the street level,
- Buildings entrances and display windows placed adjacent to the sidewalk, not set back a great distance from the street, creating an active place for window shopping,
- Sidewalks that connect throughout the area and are enhanced with sculpture, fountains, street trees and flowers,
- The placement of buildings adjacent to the sidewalk and facing each other across landscaped streets, creating a sense of enclosure and physical definition of the area.

All of these elements, as well as stable, well-maintained neighborhoods that connect to the shopping area, contribute to the character and ambience of the Plaza area. It is this collective value of the urban design character that this plan seeks to protect and to reinforce as the Plaza area continues to grow and evolve.

Existing Urban Design Character



Low-rise buildings with similarity in architectural style

Issues of Concern about Future Urban Design in the Plaza Area

The City Development Department recognizes several key urban design issues in the Plaza area. Through an analysis of the existing area, as well as the analysis of proposed future buildings in the Plaza, the following urban design issues arise:

- The scale and bulk of future buildings.
- The physical placement of new buildings in relationship to the existing buildings.
- The height of future buildings.
- Pedestrian access to new buildings and to the Plaza area.
- The architectural details and materials used in new buildings.
- View corridors into the Country Club Plaza and within the Plaza area.
- Significant points of entry into the Plaza area.
- The design of the roadways and bridges of the Main Street/Brookside connection and the Ward Parkway/Volker Blvd./Swope Parkway realignment could greatly impact the area. Every attempt to include landscaping and architectural treatments in the design of these improvements should be overseen by City staff.

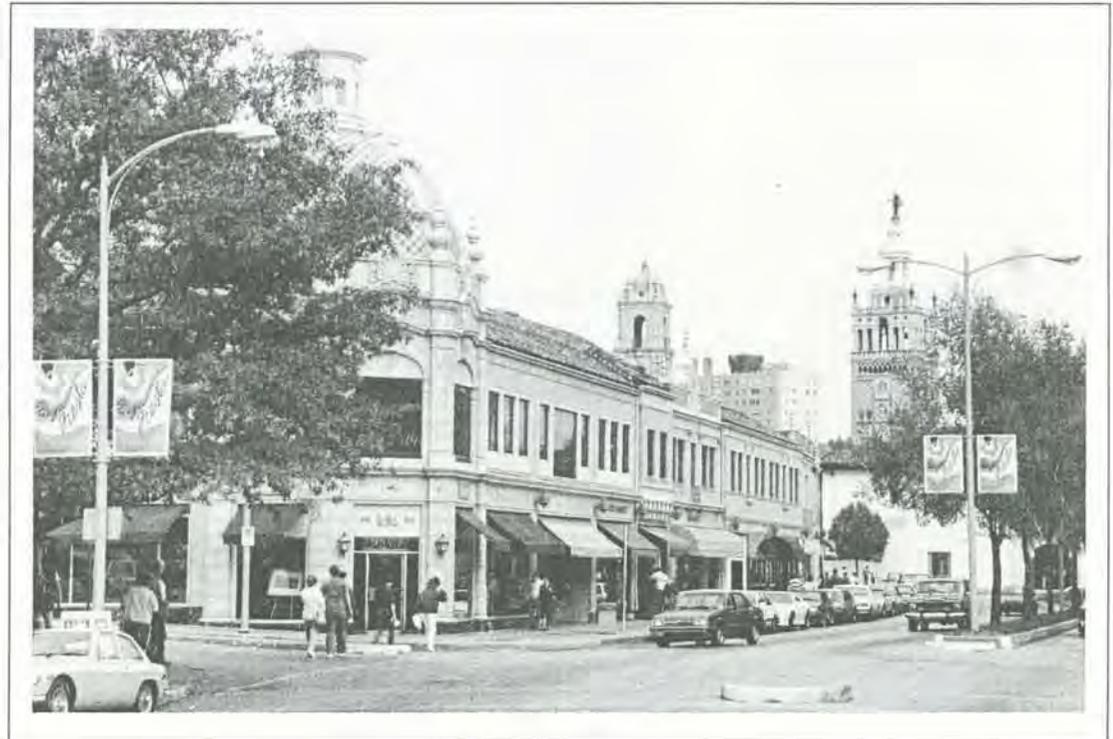


Apartment building does not retain the height and character of surrounding buildings

Urban Design Recommendations

Since the Country Club Plaza was first conceived by J.C. Nichols during the early 1920's, the overriding planning and urban design concepts, as outlined on the previous page, have evolved and are still valid. These planning and urban design concepts should be incorporated into all future development in the Plaza area. These concepts and recommendations include:

1. Maintaining the gradual transition of **building heights** rising from the Brush Creek Valley by regulating the heights of future buildings.
2. Maintaining the ease and priority of **pedestrian circulation** throughout the Plaza area.
3. Maintaining the recognizable **architectural character** and consistency of contemporary building materials for future buildings in the Plaza area.
4. Maintaining the existing **view corridors and points of entry** into the Plaza area and into the Country Club Plaza.
5. Using **urban design guidelines** as they relate to future projects in the Plaza area. These are described in the Urban Design Guidelines Chapter beginning on page 67.



Continuity of Shops

The Bowl Concept

Urban Design Recommendations

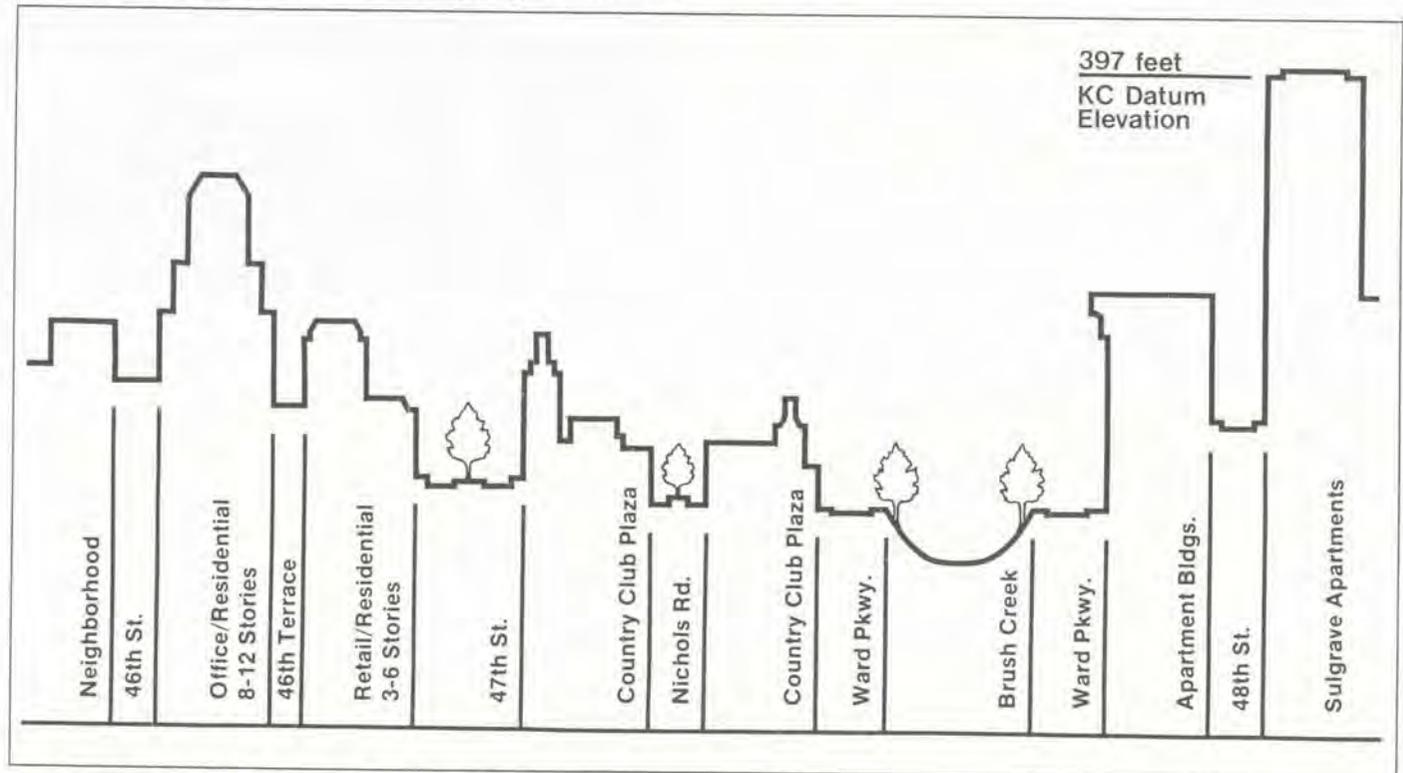
The dominant urban design concept of the Plaza area is the bowl concept, the notion of buildings increasing in height as they are placed on the gently sloping hills, rising from Brush Creek. The bowl concept emerged as the Plaza area developed in the 1920's and 30's with the low-rise buildings of the Country Club Plaza being surrounded by high-rise apartment buildings. This transition in building heights has been reinforced by office, hotel and high-rise residential development in the 1960's, 1970's and 1980's.

area. The protection of sunlight, views, and the human-scale qualities of the street environment must be considered when determining the heights of future buildings in relation to the bowl concept.

The Country Club Plaza adjacent to Brush Creek forms the base of the bowl, with two and three-story buildings. Future buildings in this area should remain at this established height. The collection of building heights ranging from 3 to 10 stories immediately surrounding the Country Club Plaza should remain. Future building heights in this zone should be between 3 and 8 stories and should not exceed 90 feet in height unless the existing zoning permits.

The Bowl Concept

It is imperative that future building development reinforce the bowl concept which has helped to form this unique district within Kansas City. This plan recommends that this be implemented by the regulation of building heights in the Plaza

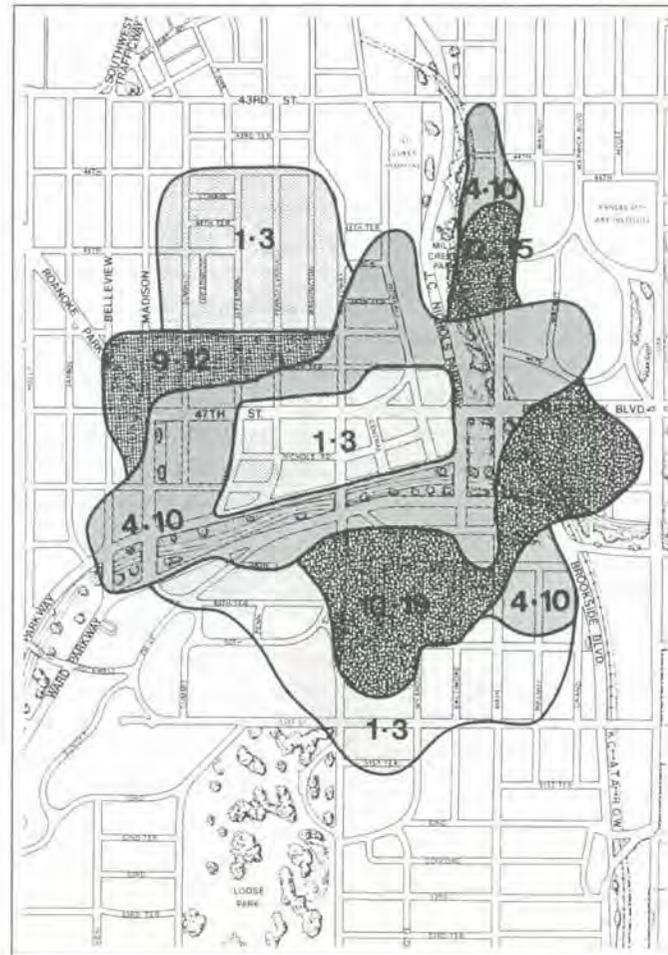


Bowl Concept Section

North of the Country Club Plaza, the bowl concept could continue up the hill from 47th Street terminating with the “rim of the bowl” at 46th Street. The high point or rim would allow buildings to be a maximum height of 12 stories, not to exceed 300 feet Kansas City Datum, unless the existing zoning permits. To the south of the Country Club Plaza, the rim will be completed with the Alameda Towers and Kirkwood Circle projects.

To the east of the Country Club Plaza, the approved Brush Creek Redevelopment project (Sailors Project) with several 19-story towers, will complete the bowl concept at this location. Buildings of 19 stories were considered appropriate in this area because the redevelopment site is not located adjacent to low-rise residential or commercial buildings; the site is buffered from adjacent development by park land and by Brush Creek; and because this site is located in the Brush Creek Valley instead of the top of the hills, north or south of the Country Club Plaza.

The apartment buildings west of the Plaza along Ward Parkway and Roanoke Parkway complete the bowl concept in this direction. These existing apartment buildings range from three to eight stories in height. This plan recommends that future infill buildings should not exceed the existing eight story building height adjacent to the Country Club Plaza unless the existing zoning permits. The Bowl concept west of the Country Club Plaza between 48th Street and Ward Parkway should remain at the scale and building height that currently exists in this area. The transition from the tallest buildings between Roanoke Parkway and Jefferson to the single-family residences west of Jarboe is most appropriate for this area.



NOTE: This is a conceptual diagram. It is not intended to suggest that future buildings must be the maximum height.

Bowl Concept Plan

Pedestrian Circulation

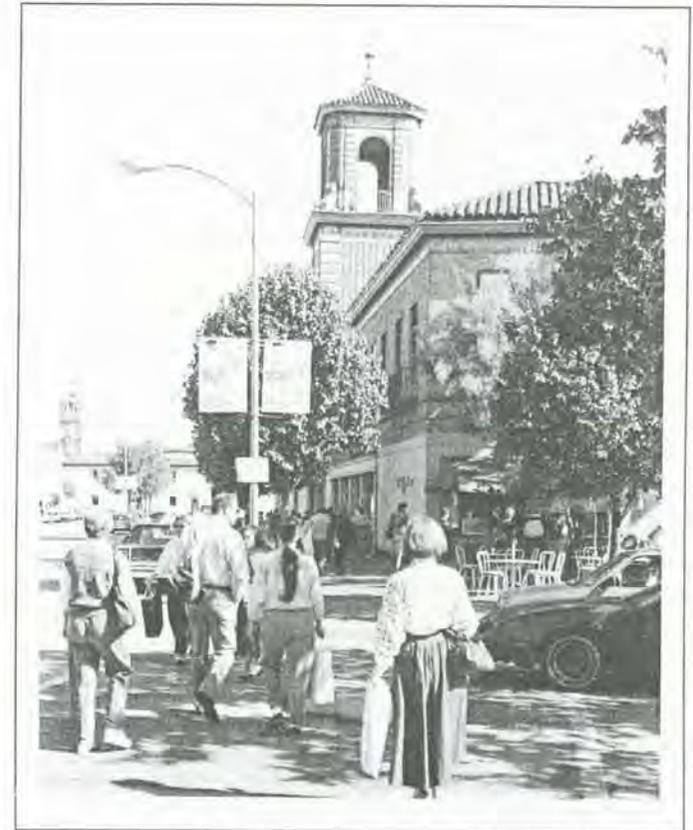
Urban Design Recommendations

A second urban design recommendation for the Plaza area is to maintain the ease of pedestrian circulation and the desirable pedestrian environment within the Plaza area. The quality, continuity and character of the existing pedestrian environment should be incorporated into the design of all new developments.

The variation of sidewalk materials, wide sidewalks, street trees and landscaping, pedestrian scaled lighting, and street furnishings that exists on the Country Club Plaza should be included in all projects surrounding this area to reinforce the existing pedestrian features in the Country Club Plaza. Main building entrances, especially those of shops, restaurants, hotels, and office buildings, should have direct access to the public sidewalk, thus continuing the pedestrian orientation in the Plaza area. Sculpture, fountains and urban open space should enrich the pedestrian environment, especially in areas of dense building development.

Maintaining this concept of pedestrianization is to promote an orderly, visually pleasing, and active street environment for workers, residents and visitors. Improved pedestrian linkages between the Country Club Plaza, the parks and boulevards, the University of Missouri-Kansas City campus, the Nelson-Atkins Museum of Art, and development projects adjacent to these areas will strengthen these areas and create a more cohesive district. Therefore, all future projects in the Plaza area must address and contribute to the pedestrian environment and improve the pedestrian linkages throughout the Plaza area.

The pedestrian connections map on page 62 illustrates within the "macro-environment" where the priority of pedestrian improvement along streets needs to occur. Many areas are internally well linked for the pedestrian, such as the Country Club Plaza and UMKC. All existing and proposed developments along Brush Creek should provide pedestrian linkages to the improved waterway channel.



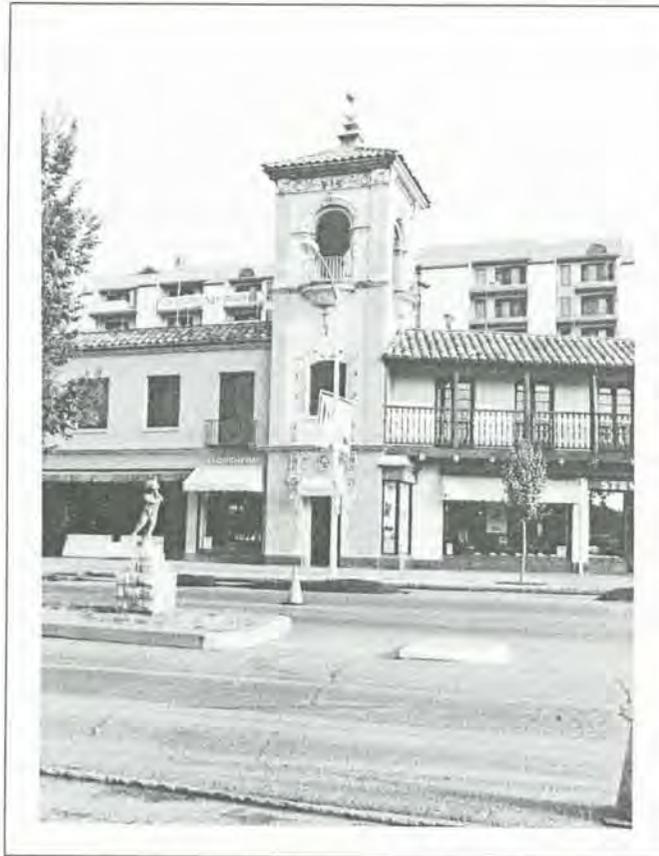
Ease and Priority of Pedestrian Circulation

Architectural Character

The well-articulated building massing and the consistency of building materials are also major urban design concepts that give the Plaza area its recognizable character. This architectural character is most obviously seen within the Country Club Plaza itself, the ten-story, brick apartment buildings on the south side of Brush Creek along Ward Parkway, and the apartment buildings on the north side of Brush Creek along Ward Parkway. The consistent architectural design of the area, including brick and stucco facades, colorful ceramic tile, terra cotta ornamentation, decorative ironwork, clay-tile roofs and bell towers, all contribute to visually organizing and giving human scale to the Country Club Plaza and the surrounding area.

To ensure this quality in the future, this plan recommends the contemporary use of these building materials and architectural design details in all future buildings in the Plaza area. This plan recommends the continued use of these human-scale design features and recognizable architectural characteristics.

Maintaining the form and placement of new buildings is very important to the architectural character within the Plaza area. The Country Club Plaza and the areas directly adjacent have a very urban character, with the front facade of buildings being located near the sidewalks' edge, with minimal building setbacks and active retail uses located at the street-level. This plan recommends that the location of future buildings be consistent with that of existing buildings in the Plaza area.



Continuity of Architectural Themes

Urban Design Recommendations

View Corridors and Points of Entry

Urban Design Recommendations

The recommendations about future building placement include: (1) locating the front facade of new buildings near to the public sidewalk and with a setback consistent with the adjacent buildings; (2) locating a new building or group of buildings so they provide wide sidewalks that connect with the existing pedestrian network of the Plaza area; (3) locating parking so that it is not a visual distraction to the character of the Plaza area and so that parking does not interrupt the pedestrian environment with numerous or randomly located parking entries; (4) locating buildings on a development site in a way that allows pedestrians to move through and across the site.

In the section of the Plaza area located east of Oak Street, the existing building placement differs from the “urban” placement directly around the Country Club Plaza. In this area, the building placement is much more campus-like. This campus-like setting, with open green space around the buildings and large building setbacks, is an appropriate building placement for future design in this portion of the Plaza area.

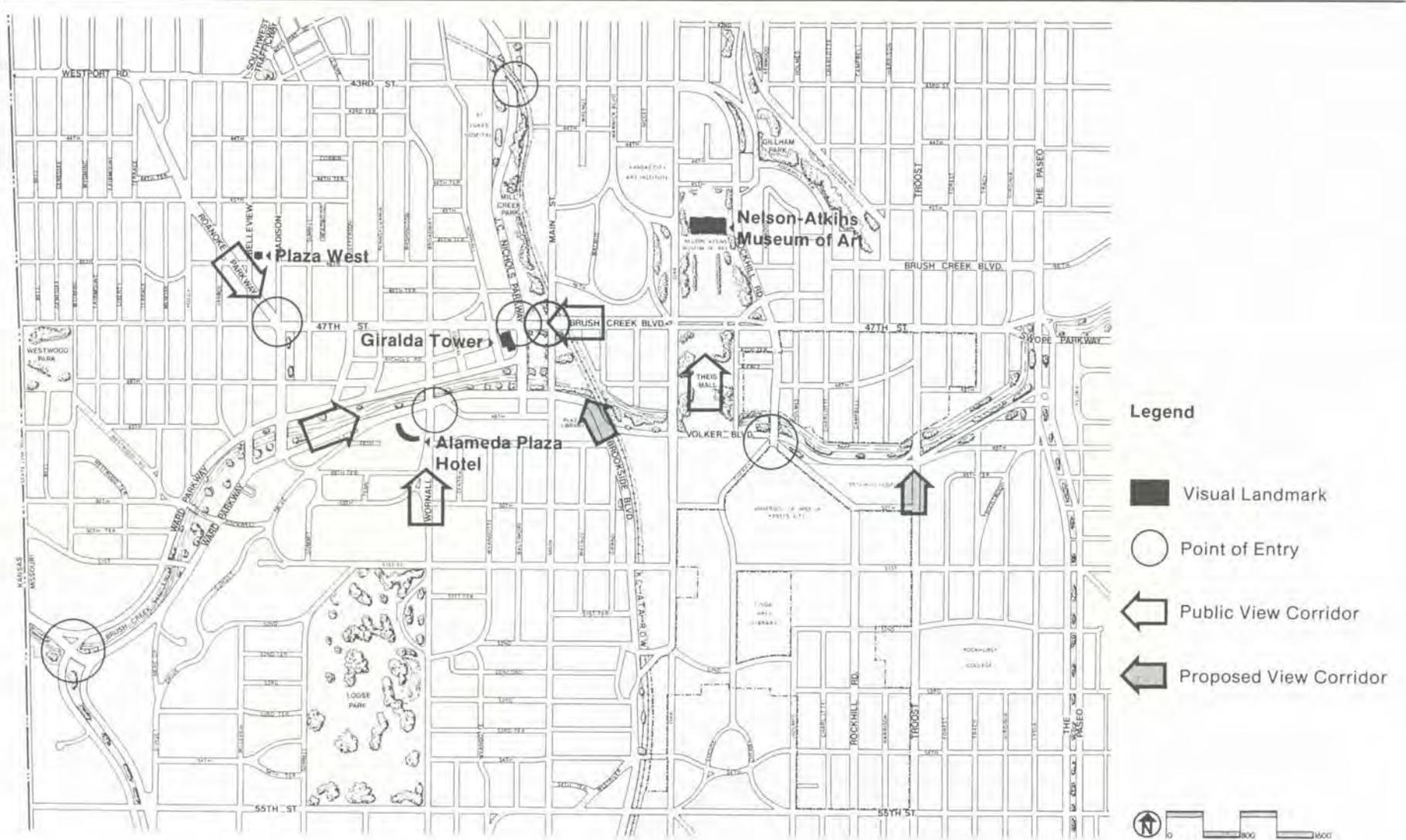
Minimizing the scale and bulk of future buildings in the Plaza area is an important design consideration. The scale and the bulk of future buildings must be carefully designed in order to minimize the impact of new buildings on the existing scale and character, as well as minimize the impact of building shadows and increased surface winds upon the pedestrian environment. This plan recommends that the form of new buildings should be designed with an identifiable base and middle, crowned with an articulated cornice, roofline, or a distinctive building top.

Maintaining the existing view corridors and strengthening the many points of entry into the Plaza area are also important urban design recommendations. View corridors should be

maintained toward public amenities such as the Nelson Art Gallery, Mill Creek Park, and Brush Creek, as well as the towers of the Country Club Plaza. The park land plays a significant role in protecting many of these views. The placement and the height of future buildings should not critically block these views. The intent of this recommendation is to preserve these significant views. This concept is most critical when completing the bowl concept and should be considered during the design of future projects.

The View Corridors and Points of Entry map illustrates existing public view corridors along streets and through parks. Future buildings along these outlined corridors should be placed in a manner that helps focus attention on the visual landmark at the terminus of the corridor. (Note: landmark is not used here to mean historic designation.) Private view corridors will be created through the implementation of the Bowl Concept.

Significant points of entry into the Plaza area should remain and be enhanced in the future. The design of these points of entry can be varied and can range from a simple gate marker, to a significant fountain, to an architecturally significant building design. These significant points of entry are located on the Visual Orientation map. Future development or other changes in the Plaza area should enhance these points of entry in the future. Some of these points of entry include: the intersection of Main Street and 47th Street, the intersection of Wornall and Ward Parkway, the Roanoke Parkway bridge over Brush Creek, the intersection of Rockhill Road and 47th Street, the intersection of Rockhill Road and Volker Boulevard, the intersection of 47th Street and Swope Parkway, the intersections of J.C. Nichols Parkway and 43rd Street and at 47th Street, the intersection of Belleview and 43rd Street, the intersection of Roanoke Parkway and 47th Street, and the intersection of Ward and Shawnee Mission Parkways.



Visual Orientation

Conclusion

This planning document seeks to reinforce in a contemporary way the urban design concepts and techniques used during the early formation of the Plaza area. The continued implementation of these urban design concepts will help establish the form and character of all new construction in the Plaza area. The planning and urban design recommendations outlined in this chapter should be used by planners and designers for all future projects in the Plaza area.



Existing point of entry

4. Neighborhoods

A major asset of the Plaza area is the stability, quality and diversity of the existing residential neighborhoods that surround the Country Club Plaza. Many stable, well-kept neighborhoods offer a variety of housing options to people seeking to live in the Plaza area. Housing types in the Plaza area range from apartments, duplexes and condominiums to small, medium and large single-family homes. Similarly, housing costs range from \$40,000 single-family homes to condominiums and homes valued at over \$500,000. This diversity of housing types and price ranges brings variety and vitality to the area. The Neighborhood map on page 25, identifies the location and the names of neighborhoods within the Plaza area. See the Neighborhood Characteristics table in the Appendix for more information about these neighborhoods.

The quality and stability of these existing neighborhoods are valuable resources to the Plaza area. High quality, well maintained, diverse housing options contribute greatly to the desirability of the Plaza area as a place to live. In general, this plan recommends the conservation and continued stability of many neighborhoods.



Country Side Neighborhood Marker

Neighborhood Planning Issues

The City Development Department was concerned about many issues affecting the neighborhoods around the Plaza area, including the appearance and maintenance of some of the neighborhoods, the effects of large-scale commercial development upon these neighborhoods, and the removal of moderate-income housing. These issues of concern were raised by neighborhood groups and concerned citizens at the quadrant meetings that were held throughout the planning process. The following planning issues summarize the concerns expressed about the residential neighborhoods:

- The need for housing and building maintenance and the need for compliance with the property maintenance code.
- The need for moderate-income housing in the Plaza area.
- The need for elderly housing in the Plaza area.
- The impact of large-scale redevelopment on the existing infrastructure.
- Commercial and institutional growth into adjacent residential areas.
- The need for zoning enforcement.

Planning Recommendations

Planning recommendations are outlined in this chapter to address the previously stated issues of concern. These recommendations include:

1. The conservation of existing stable neighborhoods.
2. The preparation of a neighborhood plan.
3. Neighborhood zoning recommendations.
4. Design guidelines for residential infill housing.
5. The development of a neighborhood planning district.
6. The preservation of historic neighborhoods. (See Historic Preservation Chapter on page 63.)



Neighborhoods

Neighborhood Conservation Actions

This plan recognizes the importance and strength of the neighborhoods in the Plaza area. To help ensure the continued quality, stability and maintenance of the physical environment, residents have several options. These options include:

- General building maintenance, which can greatly contribute to the appearance and stability of a neighborhood. This can be accomplished by exterior improvements, including painting, proper weatherization, and maintenance of porches, garages and driveways.
- Similarly, general landscape maintenance can contribute to the appearance of the neighborhood. Trees, shrubs, and lawns should be well maintained and outdoor storage is discouraged.
- Housing that is not well maintained to appropriate building standards can be reported to the Neighborhood and Community Services Department for an inspection. Neighborhood associations or individual property owners can request this inspection, which may apply to individual lots or to the entire neighborhood. This can be an effective way for neighborhood associations to state their desire to have the entire neighborhood be well maintained, including the housing stock, the landscaping and the nearby commercial buildings. Because of budget limitations the City of Kansas City can only employ a limited number of inspectors. To meet the high demand for neighborhood inspections, the City needs to appropriate more code enforcement funds to hire additional inspectors to accomplish this task.
- This plan was based on the premise that the existing zoning in most of the neighborhoods would remain and continue to be enforced.

- Public improvements can visually and physically help a neighborhood by maintenance of the public infrastructure. Sidewalks, curbs, streets, lighting, and sewer improvements can be requested by property owners; these improvements can be funded in a variety of ways. One way is through the half-cent sales tax for public improvements or the annual City Capital Improvements Program. Improvements through these programs can result in both repairs and new construction of curbs and sidewalks or other infrastructure needs.

- The City also has programs in which it initially pays for all or part of some public improvements, such as the curb and driveway rehabilitation program, as well as routine street and sewer maintenance. Making improvements by special assessment has the advantage of spreading the property owner's share of the costs over a 1 to 15 year period, depending on the project. Requests can be made through the Engineering Division of the Public Works Department. This plan recommends that this program be adequately funded in the future; currently, funds in this program are quite limited.

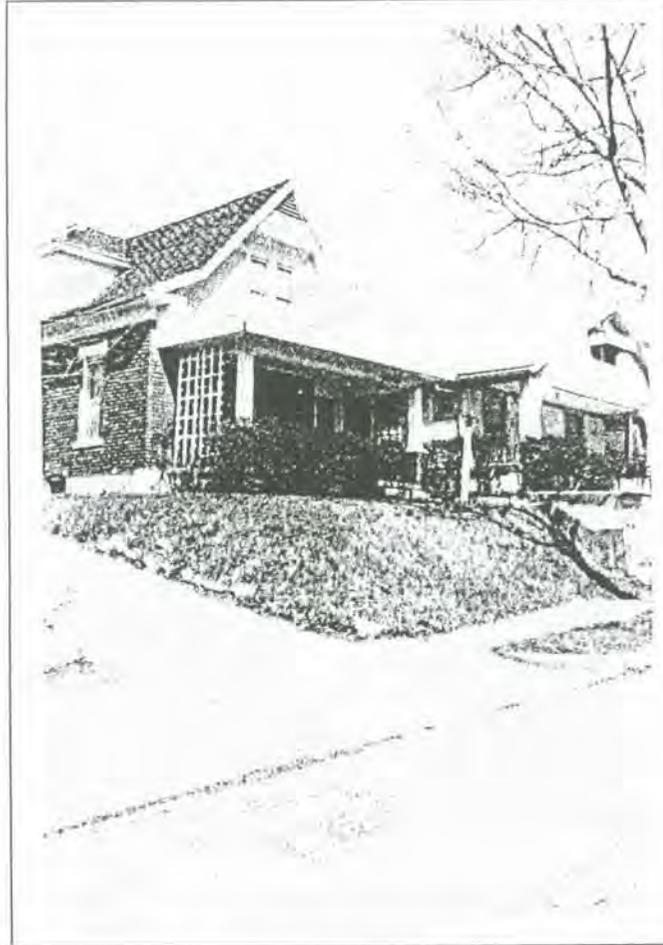
- Neighborhood residents have an opportunity to develop aesthetically pleasing public improvement standards and local utility standards for their neighborhoods. This could be included in the preparation of a neighborhood plan.

Neighborhood Plan

A neighborhood plan is another option for area residents to use, in order to encourage the stability of their neighborhood. A neighborhood association in conjunction with the City Development Department can undertake the preparation of a neighborhood plan. The process to develop a neighborhood plan will include: (1) a neighborhood association vote to undertake the task of preparing a plan, (2) the formation of a planning committee, (3) the notification of the neighborhood residents by the neighborhood association. The neighborhood association will then request assistance of the Planning and Urban Design Division of the City Development Department.

A neighborhood plan will typically address issues of land use, zoning, vehicular circulation, housing stability, parks, public improvements, as well as other planning issues. This type of plan can help stabilize an area by stating the neighborhood's goals about their future. A neighborhood plan can also outline ways to improve general building maintenance and overall neighborhood appearance. A neighborhood plan can also provide background information and justification for a neighborhood to evaluate any residential rezoning request. In the event that a neighborhood would be interested in rezoning to a more restrictive zoning category, the neighborhood plan can help justify a rezoning such as from R2a to R1b.

Residents should get involved in their neighborhood associations and local business groups to become aware of current issues facing the neighborhood and local businesses. Through the neighborhood association, they can meet other residents who are concerned about their area, and who support the stability of their neighborhood.

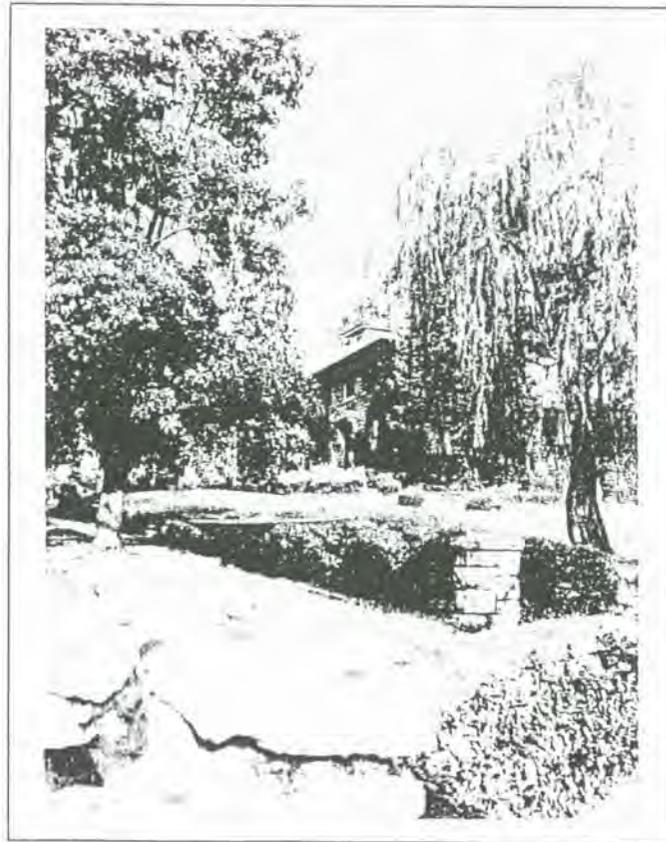


West Plaza Neighborhood

Neighborhood Plan

Neighborhood Zoning Recommendations

This plan makes zoning recommendations in three categories: (1) single-family and two-family areas; (2) low-rise multifamily areas; (3) high-rise multifamily areas. Two new zoning categories are proposed, one for single-family neighborhoods and one for high-rise residential development. Design guidelines have been prepared for residential infill units for R1, R2, R3, and R4 zoning districts and are contained after the zoning recommendations. To understand where these recommendations apply, refer to the Neighborhood Map, page 25, to locate the residential neighborhoods and refer to the Existing Zoning Map, page 35, to determine an area's existing zoning.



Landscaped Plaza neighborhood

1. Single-family and two-family residentially zoned areas

For single-family and two-family residentially-zoned areas (zoning districts R1aa, R1bb, R1a, R1b, R2a, and R2b) this plan recommends that these neighborhoods should not be rezoned to a more-dense land use, such as apartments or office. Therefore, these areas would remain single-family or two-family. These neighborhoods include: Westwood, Sunset Hill, Countryside, Crestwood, 49/63, Rockhill, and Hyde Park

To help conserve some of the less densely developed single-family neighborhoods, this plan recommends one additional zoning category for use in appropriate R1 neighborhoods. This new zoning category would help prevent lot-splits, thereby preventing infill housing on lots smaller than the existing residential lots. This new category, R1bb, would require a minimum lot size of 12,000 square feet and lot width of 85 feet. This proposed zoning category would more accurately reflect the existing lot size and lot width of parcels within the Rockhill, Countryside, and Sunset Hill neighborhoods; R1bb would also be applicable and beneficial to neighborhoods outside of the Plaza study area.¹

Future residential infill development in these areas should follow the Design Guidelines for Residential Infill Housing discussed in the section of this plan beginning on page 71.

¹ The R-1bb category has been adopted by the City Council.

2. Low-rise Multifamily Residential Units

For neighborhoods zoned R3 and R4, which allow single-family houses, duplexes and three-story apartment buildings, this plan recommends that these neighborhoods remain as stable, medium-density residential areas. Portions of Plaza area neighborhoods including West Plaza along Roanoke Parkway; South Plaza south of 50th Street and west of Main Street; Plaza-Westport and Manheim Park are zoned R4 (apartments, 45 feet maximum building height). Many parcels within these neighborhoods are developed with single-family units or duplexes; these land uses are at a density well below the allowable multifamily density. Because these neighborhoods are not developed to the maximum density allowed under the existing zoning, redevelopment is possible within the existing R2, R3, and R4 zoning categories. This plan recommends the use of the Design Guidelines for Residential Infill Housing on page 71, for any residential redevelopment in these areas. The residential infill design guidelines will be used by City Development and Codes Administration staff to review any projects submitted in these areas. These guidelines for residential infill development could become part of the zoning ordinance.

3. High-rise Residential Areas

For high-rise residential development in the Plaza area, this plan recommends the following:

- Future high-rise residential development will be considered in the areas described in the Land Use chapter of this plan beginning on page 32.

- All high-rise residential development should be in keeping with the existing high-rise residential scale and character of the Plaza area.

- This plan recommends a new zoning category for the Plaza area, which should be the maximum high-rise residential density allowed in the Plaza area. For future rezoning requests, this category, R5a, will allow a maximum building height of 100 feet or 10 stories and, for apartment houses, a minimum per-unit lot area of 750 square feet. The maximum floor area ratio for this category should be three. All requests for R5a zoning will be reviewed for compliance with the urban design guidelines outlined in this plan. Density and F.A.R. bonuses for the R5a category can be earned as follows:

1. if underground parking is provided, add 5 units per acre and an additional .10 F.A.R.

2. if 20% open space is provided, add 2 units per acre and an additional .10 F.A.R.

3. if the proposed development is 5 stories or less, add 3 units per acre and an additional .10 F.A.R.

4. if the residential development is for elderly housing, add 10 units per acre and add an additional .20 F.A.R.

Urban Design Guidelines for Infill Housing

As previously stated within this section of the report, rezoning is not encouraged for most residential areas within the Plaza study area. Vacant parcels within single-family neighborhoods can be developed within the existing zoning category. In areas zoned for apartments, however, redevelopment from single-family to apartments could take place within the existing zoning categories.

Redevelopment of single-family housing stock to duplexes or apartment uses can have a detrimental impact on an existing neighborhood. Major impacts can be avoided with careful design considerations. The design, size, and form of new residential buildings should relate to the existing scale and architectural details of the surrounding residential areas. New buildings should complement and improve, not dramatically change, the existing neighborhood environment. Urban design guidelines for residential infill housing have been prepared and are recommended for use in the R1, R2, R3, and R4 zoning districts. These guidelines are listed in the Urban Design Guidelines chapter on page 71.

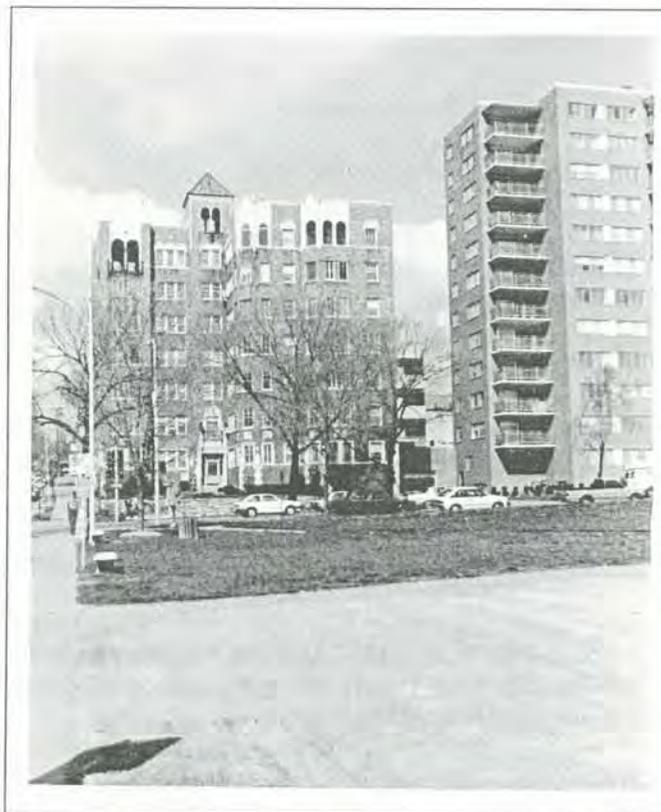
Neighborhood Planning District

The final option residents might pursue to stabilize their neighborhood is to request a Neighborhood Planning District (NPD). The NPD is a proposal made in this plan to create a new zoning overlay district that would give stable neighborhoods greater protection from higher density development. A detailed explanation of the district is contained in the Appendix.

Briefly, a neighborhood could initiate the process to establish an NPD by submitting a petition to the City Plan Commission with signatures from owners of half of the property in the neighborhood. If sufficient signatures were obtained, the Commission would approve the preparation of a neighborhood land use plan (a more detailed plan could be prepared, but is not required), to be developed with the assistance of the City Development Department. After review of the plan, both the City Plan Commission and the City Council would have to approve the zoning overlay district, as is standard for any rezoning. This NPD designation would help stabilize the neighborhood and discourage future development that was inconsistent with the plan by requiring that the plan be amended if a development inconsistent with the plan were proposed. The City Plan Commission and the City Council would have to approve the amended plan in addition to the specific project in order for the development project to receive City approval.

The potential benefits of an NPD include:

1. Discouraging property speculation in stable areas.
2. Giving a signal to developers that this is a well organized neighborhood in which it would likely be difficult to obtain approval for redevelopment.
3. Increasing the stability of the Plaza area neighborhoods and other appropriate neighborhoods in the city.



Apartment District along Roanoke Parkway

5. Land Use

Current Land Use

The study area encompasses many different types of land uses, which contribute to the vitality and diversity of the Plaza area. The existing land uses include:

- Retail shops and restaurants.
- Offices and professional services.
- Residential housing, including single-family homes, duplexes, garden apartments, high-rise apartments and condominiums.
- Hotels
- Institutions such as hospitals, churches, schools and college campuses.
- Cultural and public facilities such as the Nelson-Atkins Museum of Art, the Plaza Library, and the Missouri Repertory Theatre.
- Open space such as the City parks, boulevards and the Kansas City Area Transit Authority right-of-way, (the Country Club railway line).

The map on page 33 illustrates the existing land use in the Plaza area. Recommendations about future land uses in the Plaza area will be made in this chapter of the report.

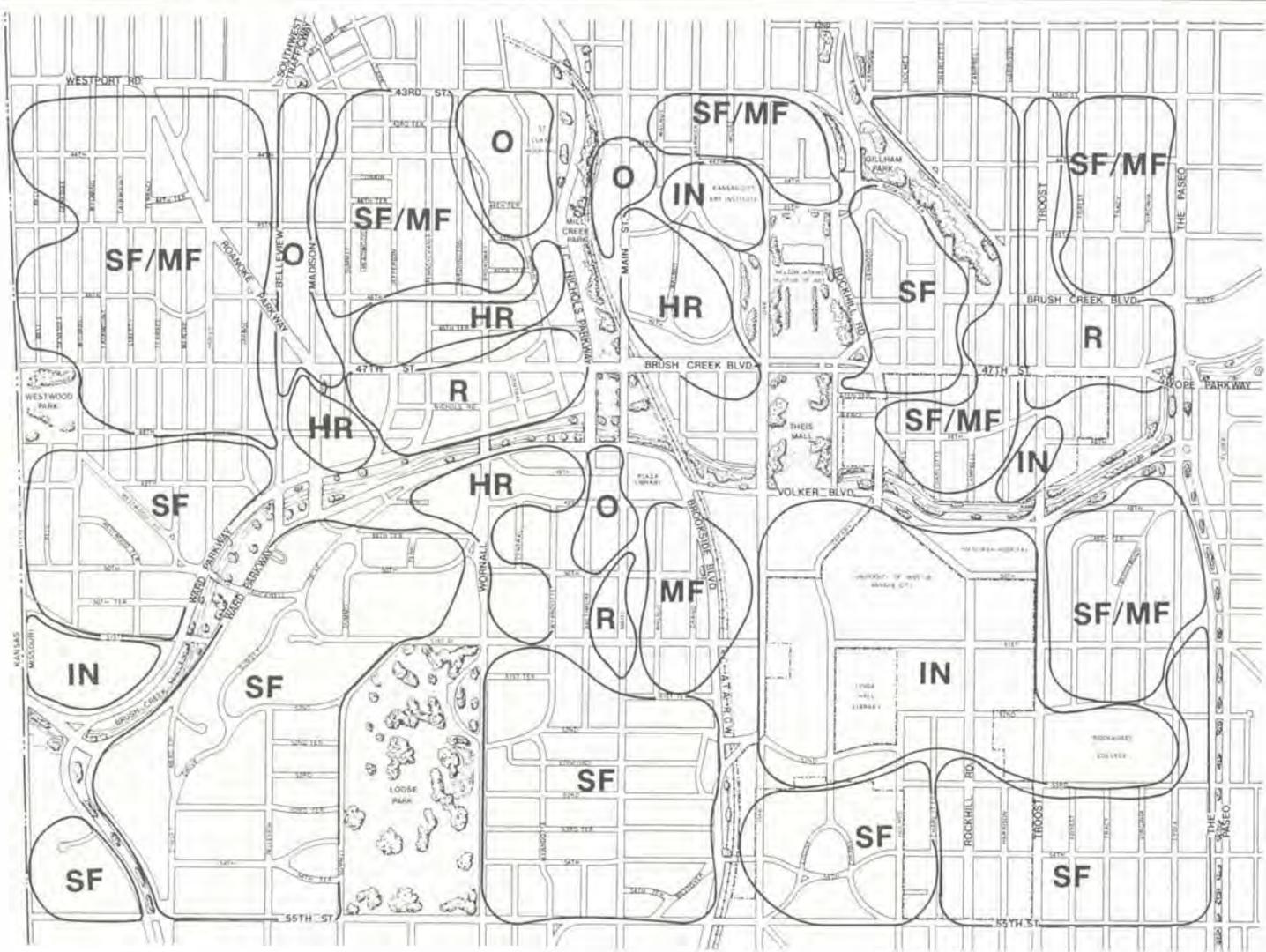
Analysis of Existing Conditions and Issues of Concern

The following concerns were expressed during community meetings in reference to future land use and development in the Plaza area:

1. The concern was expressed that land and buildings that are currently occupied are being assembled to form large parcels of land to be used as future redevelopment sites. This plan will address that concern by identifying areas for redevelopment around the Plaza. These sites will adequately accommodate potential future development over the next 15 to 20 years. An important function of this plan for the Plaza area is to set forth land use policies that will direct future changes in zoning and indicate locations where land assemblage for redevelopment is appropriate. Even more important, this plan sets forth the places where tax abatement or changes in zoning will not be recommended.

2. The concern was expressed that too much development will occur in the Plaza area and that this development could damage the existing scale and character of the area. Since 1982, 1.2 million square feet of office space has been completed; an additional 4.8 million square feet of office space has been approved (including classroom and laboratory space in the UMKC North Campus); 350 apartment and condominium units have been completed; and an additional 1,795 apartment and condominium units have been approved. The Urban Design and the Land Use chapters of this report address this concern.

3. The concern was expressed that the Plaza area might become an area of only luxury housing and that the appealing diversity of housing, ranging from moderate-cost housing to luxury housing, might be lost. Recommendations to conserve many of the existing neighborhoods are contained in this chapter and the Neighborhood chapter beginning on page 26 of this plan, while recommendations regarding luxury housing in the Plaza area are on page 38.



Legend

- SF Single-Family Residential
- MF Multifamily Residential
- SF/MF Single-Family and Multifamily Residential
- HR High-Rise Residential
- R Retail
- O Office
- IN Institutional



Existing Land Use - Conceptual

Zoning

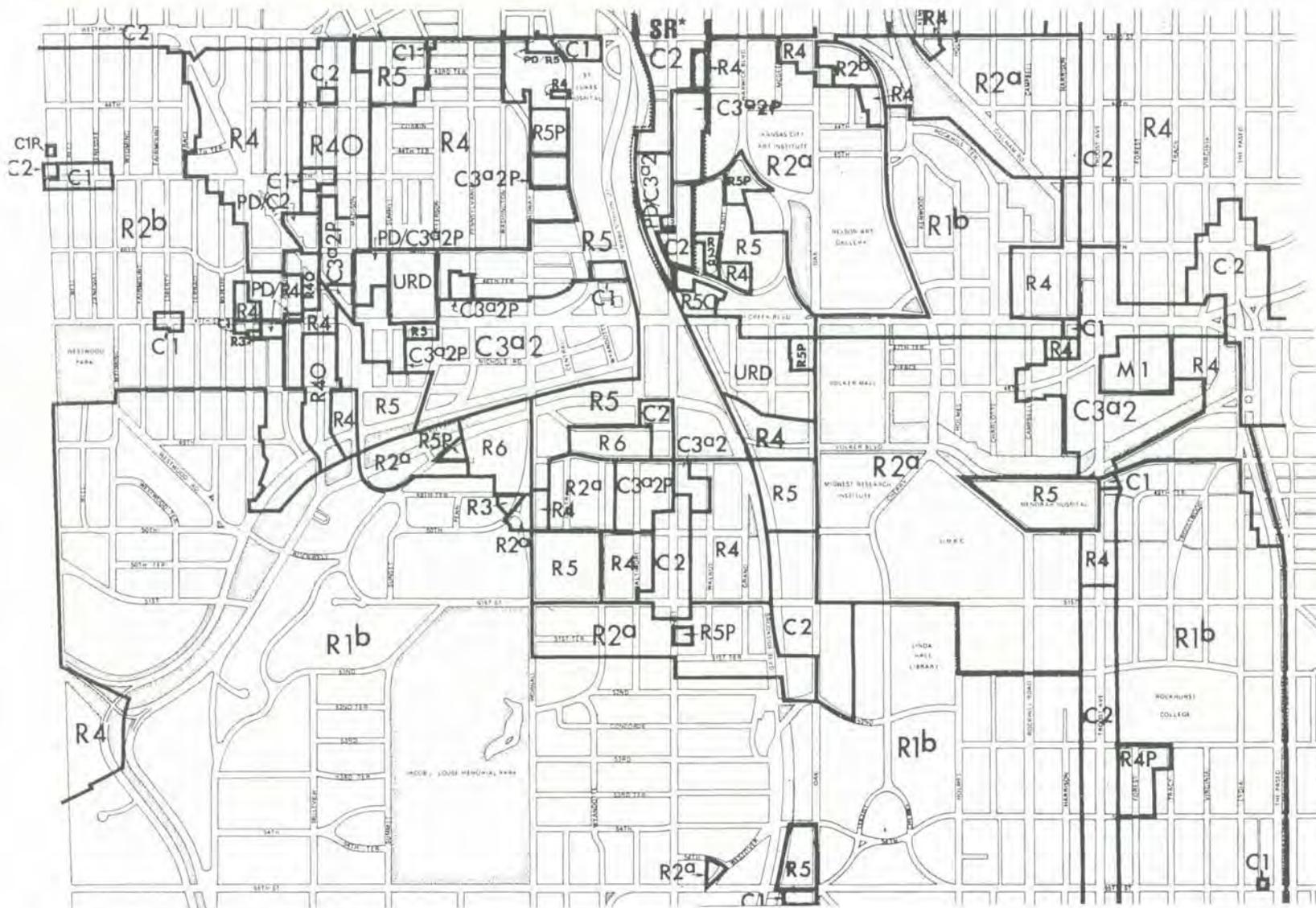
See Index of Zoning Categories on page 108 for zoning districts definitions.

Current Zoning

The map on page 35 illustrates the existing zoning in the Plaza area. Zoning is a legal planning tool used to implement the City's land use plan. The city is divided into zoning districts and within these districts the zoning classifications regulate the following:

- A. The use of buildings and land.
- B. The height of buildings.
- C. The location of a building on a lot.
- D. The density of housing units.
- E. The density of commercial development.
- F. The number of parking spaces required.
- G. The size and location of signage.

Recommendations about future zoning in the Plaza area will be made in this chapter of the report. Zoning recommendations for neighborhoods are made in the Neighborhood chapter beginning on page 28.



Existing Zoning (as of May, 1989)

Entire Plaza Area

Planning Recommendations

It is essential that future development in the Plaza area take place in a comprehensively well planned manner. It is also very important that anticipation of potential future development does not cause neglect and blight of sound properties when the real-estate market will not support redevelopment of properties for another generation or more.

In certain portions of the study area, the planning recommendations state "No Recommended rezoning." This statement represents the City's planning policy for these areas in which changes in zoning that would allow for an increase in the intensity of land use and building bulk are not recommended.

No one will be denied their right to request and apply to the City Plan Commission for a zoning change. All applications for rezoning will continue to be reviewed through the existing plan review process for the City Development Department.

In certain portions of the study area, the planning recommendations may state "Limited Redevelopment Area Within Specific Site Guidelines." This statement represents the City's planning policy for these designated areas in which changes in zoning that allow for an increase in the intensity of land use and building bulk shall be limited by the planning recommendations outlined in the Land Use Chapter, Urban Design chapter and Urban Design Guidelines chapter of the "Plaza Urban Design and Development Plan." (As amended by Resolution #991200)

This plan recommends that several new zoning categories be added to the City's zoning ordinance. These proposed zoning categories--R-1bb, R-5a, C3a2-PLAZA, and O-5--will not apply to or change the existing zoning of any area. City Plan Commission review and City Council action will be required to adopt the proposed zoning categories.

The following planning recommendations apply to the entire Plaza study area.

Design Guidelines and Plan Review

- All proposed redevelopment projects in the Plaza area should be submitted to the City Plan Commission and the City Development Department for review of their compliance with this plan.
- The Zoning ordinance should be amended to include the proposed zoning categories in this plan.
- The existing zoning in specific areas around the Plaza allows development that is greater in density than the existing development. For example, the Plaza-Westport neighborhood is zoned R4, but some of the parcels are developed as single-family residences. This plan does not recommend rezoning these areas to a more restrictive zoning category; this plan does not recommend the use of design guidelines throughout these areas.
- This plan contains design guidelines that will be used to review redevelopment proposals in the Plaza area. These design guidelines will be used by the staff of the City Plan Commission and will be administered through the rezoning process. If the design guidelines contained in this plan are not applicable to a proposed project, the City Development Department will consider including design guidelines prepared by the applicant.

Water and Sewer Concerns

- There is no problem in the ability of existing water mains to accommodate additional large-scale development. Large water mains are located below several major streets throughout the Plaza area. Individual developers will need to provide larger waterlines to their own projects and may need to extend appropriate sections of waterlines to meet their project's needs.
- Future development should be designed to address the problems created by the existing combination storm and sanitary sewer system. New development should provide separate outlets for storm and sanitary flows.

Area for which the Plaza-Westport Neighborhood Plan is the plan of record. Resolution 040617

Legend

- Study Area Boundary
- ▲ Institutional Master Plans Requested
- ▨ Potential Redevelopment Within Existing Zoning
- No Recommended Rezoning
- Potential Redevelopment Areas
- ▨ Historic Neighborhood District
- ▨ Approved Development Project
- ▨ UMKC North Campus
- Southern Boundary of Large-Scale Development
- E** Areas With Specific Guidelines
- ▨ Limited Redevelopment with Specific Guidelines



Planning Recommendations

Last amended by Resolution No. 121049; January 31, 2013

Entire Plaza Area

Planning Recommendations

Retaining Plaza Area Buildings

- The City should consider offering financial incentives to help retain the architecturally significant groupings of characteristic older apartment buildings around the Country Club Plaza that are in need of renovation and rehabilitation. These incentives could include: (1) tax increment financing, (2) tax abatement, (3) tax credits for renovation, (4) tax credits for historic preservation.

- In the Plaza area, it is important that redevelopment occur in a coherent manner, not in a random or piecemeal way. Residents do not want neighborhoods with scattered commercial buildings, random parking lots, vacant land or run-down buildings. Well maintained, stable neighborhoods are desirable, as is commercial development when it is concentrated at specific locations, not scattered throughout a neighborhood. In order to conserve and maintain the Plaza area neighborhoods, as well as minimize potential blight, this plan stresses that property maintenance codes will continue to be strictly enforced in all neighborhoods. Before residents of properties are required to relocate, redevelopment projects should be submitted to the City Plan Commission so that buildings are not left vacant and in a state of deterioration. Redevelopment projects should not be allowed to precipitate blight within areas that may not redevelop for many years.

- Properties approved for redevelopment, either for renovation or demolition, should not be allowed to deteriorate before the scheduled construction. This is to be avoided (with new ordinances as necessary) through:

1. Timely completion of all project elements.
2. Establishing construction deadlines during the rezoning and planning process.
3. Code enforcement.
4. Keeping buildings occupied until it is infeasible to occupy them.
5. If a building is to be demolished and is unoccupied, then demolishing it immediately and landscaping the site.

Luxury Housing Development

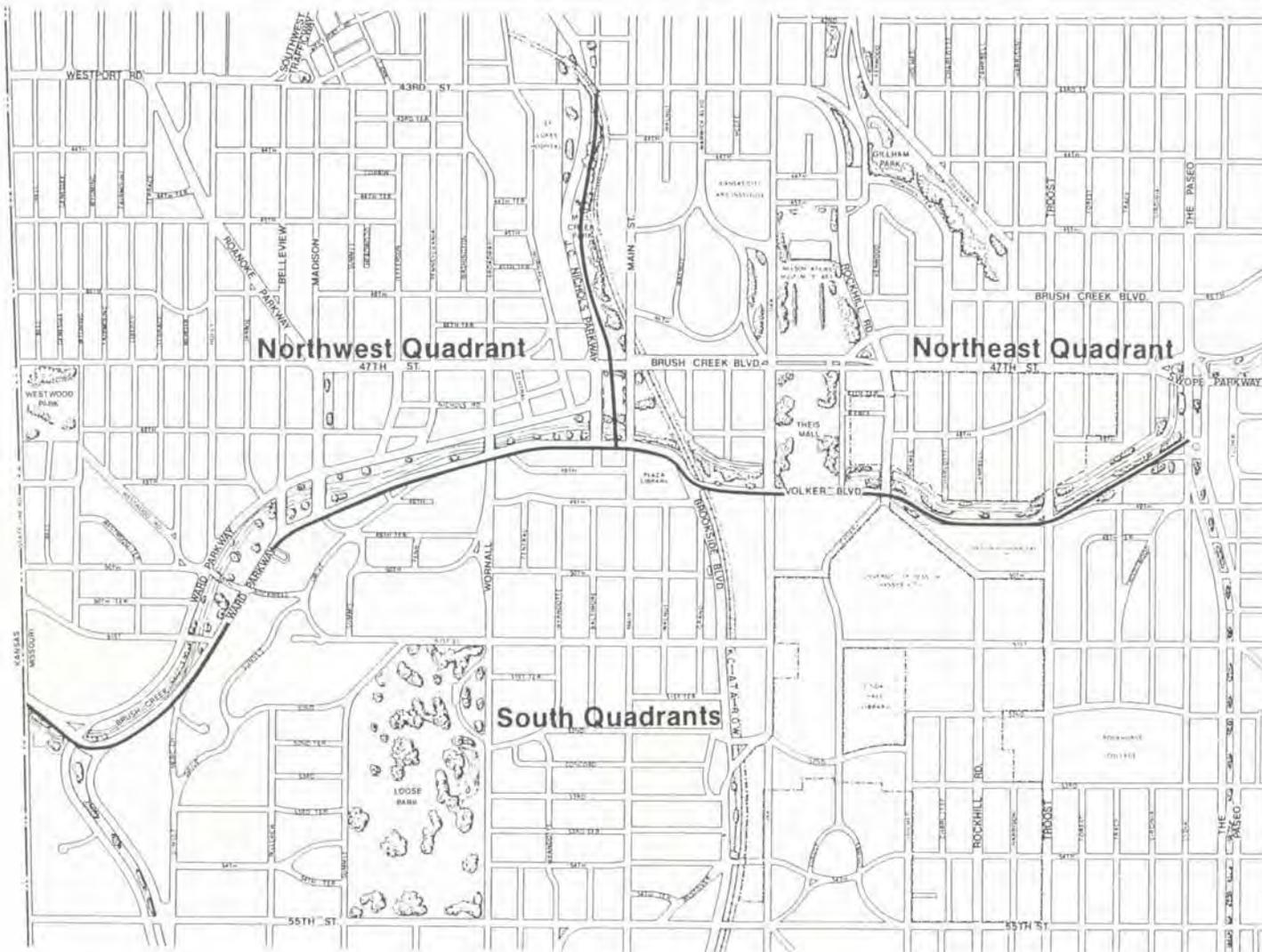
The City Development Department retained Applied Real Estate Analysis, Inc., to conduct a housing market study of the Plaza area. The intent of the study was to examine the long-term demand for luxury housing and the relocations options available for people displaced by redevelopment projects. This study stated that the 1,010 units of luxury housing that are either currently under construction or have received planning approval should meet the market demand over the next 12 to 15 years. Based on this information, this plan will not prohibit luxury housing but will recommend the following requirements for each luxury housing proposal.

- The applicant must present a timetable for completion of the luxury housing project.

- The luxury housing project should be constructed in phases consistent with projected market absorption.

- The applicant should provide detailed square footage data for each unit and the total number of units in the development. The total number of units in the development should be built according to the planned number of units. This is to guard against over-loading City infrastructure by substituting larger numbers of less expensive and smaller units.

- If the approved development will replace existing residential units, then the existing units should not be removed from the market until construction is ready to begin for the project.



Study Area Quadrants

South Quadrants

Planning Recommendations

South Boundary of Intensive Development

- This plan sets the boundary of intensive development in the Plaza area at 50th Street between Wornall and Brookside. The development between 50th and 51st Streets should continue to be a zone of transition between office and high-rise apartment buildings to the north and the single-family neighborhoods to the south. This recommendation means that the current buildings in the area are of an appropriate use and height and should remain for the foreseeable future.
- West of Wornall and south of Ward Parkway, no additional commercial or high-rise residential development is recommended.

Main Street Neighborhood Commercial

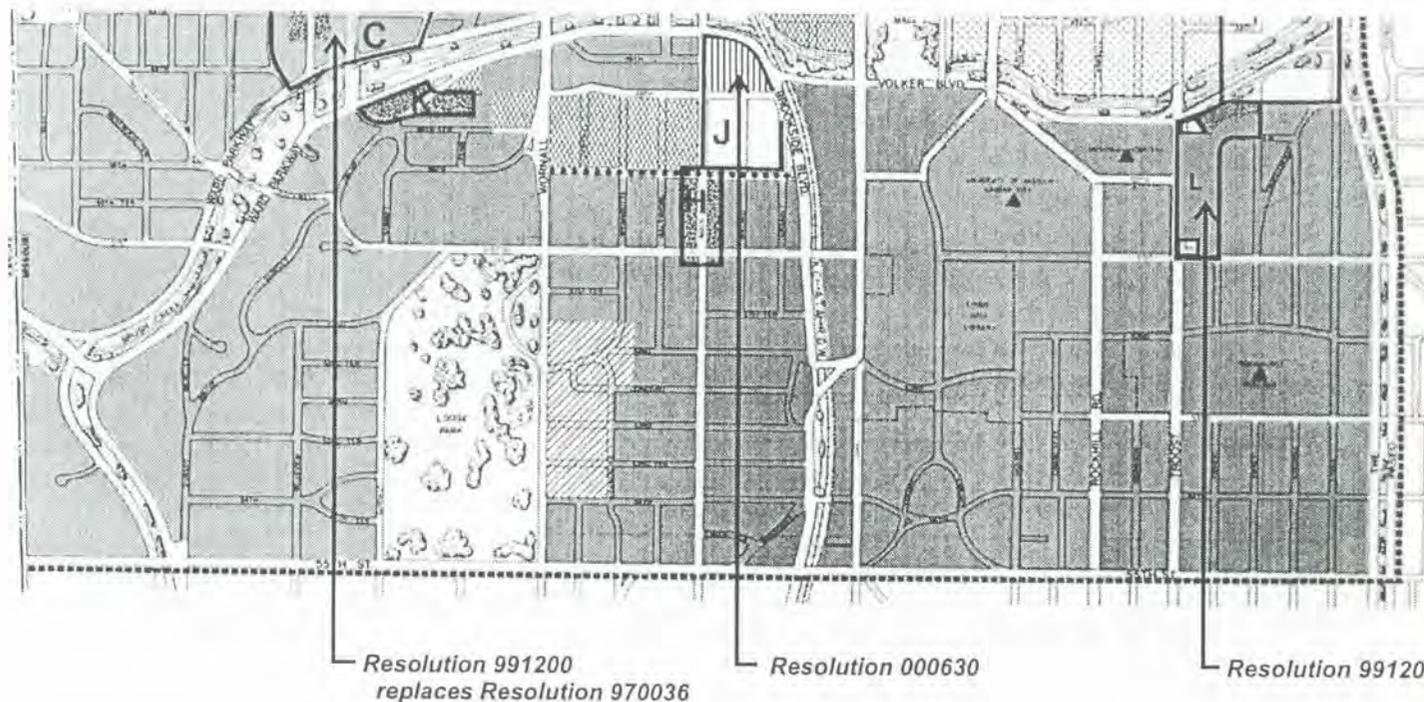
- Main Street south of Brush Creek should remain a neighborhood commercial and entertainment district. If redevelopment is proposed in this area, the recommended zoning is Planned Commercial, C-2p, which requires that a site plan be submitted to the City Plan Commission prior to the issuance of building permits. A limited district is recommended for this area so that future redevelopment in this area will be comprehensively planned. Design guidelines have been developed for this area and are listed on page 85.
- There is a long-range possibility of high-rise office and residential development between 49th and 50th Streets from Main to Brookside. Guidelines for redevelopment of this area are on Page 88.
- The Fire Station at 50th and Main Streets currently is to remain and be maintained by the City.
- The Plaza Library should be incorporated into any redesign of its site or moved to a prominent and accessible site in the Plaza area.

UMKC, Rockhurst, and the 49/63 Neighborhood

- In the Crestwood and 49-63 neighborhoods east of Oak Street and south of Volker Boulevard no rezoning is recommended except for the *southeast corner of 49th and Troost Avenue, and the northeast corner of 51st Street and Troost Avenue.*
- The property within the UMKC planning boundaries, south of Brush Creek, as shown on the Study Area map, is being planned by the University. This boundary was established by the Curators of the University in 1966 and several properties have been acquired by the University for its future use. The State of Missouri controls the property owned by the University Curators. The City continues to have code-enforcement and other types of jurisdiction over other properties in the area including properties owned by the University of Kansas City Trustees. The University has plans to continue acquiring properties within these boundaries. The City of Kansas City anticipates that the University will continue the cooperative relationship developed during the North Campus plan development. Should the University sell their or the Trustees' property, this plan recommends no rezoning. This plan also recommends that housing in the area continue to be well-maintained in the future.
- The University of Missouri-Kansas City, and Rockhurst College *are developing* master plans to guide the future expansion of their facilities. During the preparation of these plans, the surrounding property owners and neighborhood groups and the City Development Department should be consulted. These master plans will then be able to assist the City Plan Commission when considering future requests by these institutions.

For other recommendations on the neighborhoods within this area, refer to the Neighborhood Chapter planning recommendations

As amended by Resolution #991200



Legend

- Study Area Boundary
- ▲ Institutional Master Plans Requested
- ▨ Potential Redevelopment Within Existing Zoning
- No Recommended Rezoning
- Potential Redevelopment Areas
- ▨ Historic Neighborhood District
- ▨ Approved Development Project
- ▨ UMKC North Campus
- Southern Boundary of Large-Scale Development
- ⓔ Areas With Specific Guidelines
- ▨ Limited Redevelopment with Specific Guidelines



South Quadrants Planning Recommendations

Northeast Quadrant

Planning Recommendations

Northeast Quadrant Land Use Recommendations

- The approved redevelopment projects along Main Street, which have been built since the mid-1980's, will occupy the majority of the building sites along Main Street when the final phases of these projects are completed. The block from 43rd to 44th on the west side of Main Street could redevelop in the future for office or retail use.
- The remainder of the buildings along Main Street from 43rd to 47th Streets are not recommended for redevelopment, including several existing brick buildings of small retail shops and several brick apartment buildings on the west side of Main Street.
- This plan recommends the continued upkeep and maintenance of the existing brick apartment buildings along Brush Creek Boulevard and along 46th Street. This site is identified as a potential redevelopment area.
- The area between Troost and The Paseo from 46th Street (Brush Creek Boulevard) south to Brush Creek is a location for potential redevelopment. Appropriate land uses would be those that complement the UMKC North Campus, including neighborhood commercial uses and residential development. The land use densities of C3a2-PLAZA, page 48, and R5a, page 29, as recommended in this plan, could be appropriate for this area. This plan recommends that a more detailed land use and urban design plan should be prepared for this area before changes in zoning and land use policy will be made. Design guidelines for the redevelopment of this area have been prepared and are listed on page 84.
- This plan recommends that the Kansas City Art Institute and the Nelson-Atkins Museum of Art prepare master plans for their facilities. These master plans should be submitted to the City Plan Commission to assist when requests are made in the future by these institutions.

Kansas City Art Institute

The Kansas City Art Institute has experienced an enrollment increase during the 1980's. Enrollment at the beginning of the decade was approximately 418 students and has since increased to 520 students during the 1988-89 academic year; continuing education class attendance continues to increase as well. The administration believes that enrollment will reach upwards of 600 degree-seeking students. Currently the 11 campus buildings, totaling 200,000 square feet of space, are located on fewer than 15 acres of land. Including the dormitory, the KCAI provides 385 square feet of space per student. At this time 140 off-street parking spaces are provided.

The Institute will acquire the former University of Missouri Conservatory property in July, 1989. This acquisition, adjacent to the campus, will provide for expansion needs during the short term. However, the Art Institute remains landlocked and will need to consider the acquisition of property abutting the current campus. The Southmoreland Neighborhood north of 44th Street has been designated as an historic district. If houses are acquired in this area, the planning recommendation would be to reuse the existing structures. Any new structures would need to be submitted to the Landmarks Commission for review and should be designed to retain the character of the campus and the neighborhood. The Art Institute should continue master planning for the campus to serve the needs of the institution and balance those needs to help stabilize the surrounding neighborhood.

Current Development Projects

- The master plan for the UMKC North Campus, to be located between 47th Street and Volker Boulevard, from Locust Street to Forest, is respectful of nearby historic buildings. It is designed to permit the orderly and incremental development of buildings, which are located around a series of well-designed public spaces. It is the policy of the City that the master-plan-of-record should be followed as future development proceeds.

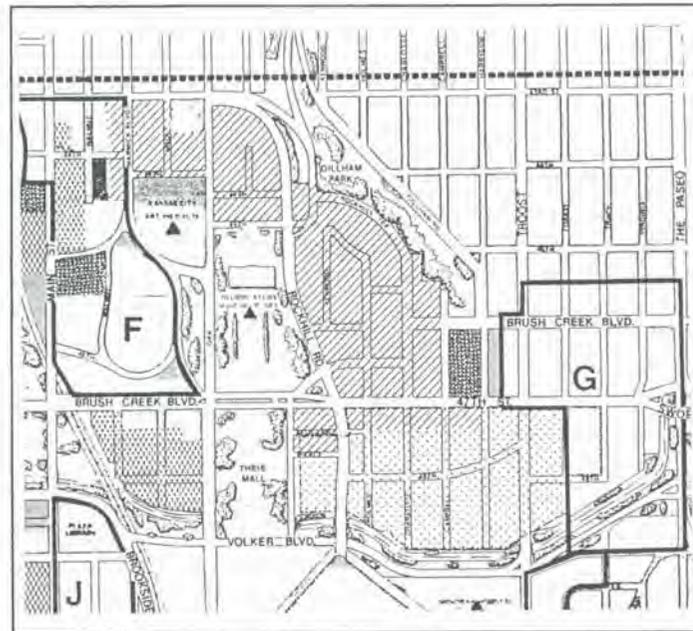
- The area between 47th Street and Volker Boulevard from the Country Club Railroad right-of-way to Oak Street is a designated redevelopment area. A plan for this area developed by the Brush Creek Redevelopment Corporation (R.H. Sailors Co.) has been approved; the design of the master plan was revised significantly in accordance with the rough draft of this Plaza Plan. Any future amendments to the approved plan should improve coordination with the design of the UMKC North Campus, the Theis Mall/proposed Henry Moore Sculpture Garden and the Brush Creek Waterway plans for flood control and landscaping, as well as the policies outlined in this document.

Historic Neighborhood Districts

- The Rockhill neighborhood with its well-designed older, larger homes is already designated as an historic district. It is also a highly appropriate location for the Neighborhood Planning District as described in the Appendix. This plan does not recommend rezoning the neighborhood to a higher density land use such as multifamily. The single-family zoning for this area should be amended to R1bb to be consistent with the existing lot sizes in the Rockhill neighborhood. See the Neighborhood Chapter for further information.

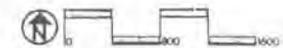
- The Southmoreland neighborhood south of 43rd Street is an historic district. No changes in zoning should be made in this historic neighborhood district.

- For recommendations on the other neighborhoods within this area refer to the Neighborhood Chapter planning recommendations.



Legend

- Study Area Boundary
- ▲ Institutional Master Plans Requested
- ▨ Potential Redevelopment Within Existing Zoning
- No Recommended Rezoning
- Potential Redevelopment Areas
- ▧ Historic Neighborhood District
- ▩ Approved Development Project
- ▧ UMKC North Campus
- Southern Boundary of Large-Scale Development
- ▭ Areas With Specific Guidelines



NE Quadrant Recommendations

Northwest Quadrant

Planning Recommendations

The County Club Plaza

Since its original design and construction, beginning in 1922, the shopping area of the Country Club Plaza has had a consistent design character: wide streets and sidewalks enriched with sculptures and fountains, low buildings of Spanish-style architecture punctuated by ornamental towers, walled parking lots and, later, enclosed parking decks. There have been tall buildings immediately north, west and south of the Country Club Plaza shopping area since the 1920's, accentuating the topography to form a bowl-like shape around the Plaza shopping area. The bowl-shaped character of the Plaza has been reinforced by developments in the 1950's and 60's, as well as by some recent buildings.

The urban design concept for the area has thus become a shopping area of low buildings surrounded by taller buildings; this concept makes sense only as long as the buildings in the Plaza shopping area continue to be two and three stories. The Plaza shopping area, however, is zoned C3a2, commercial high-buildings. This zoning category would permit tall buildings to be constructed in the Plaza shopping area, on the sites now occupied by the retail shops and restaurants.

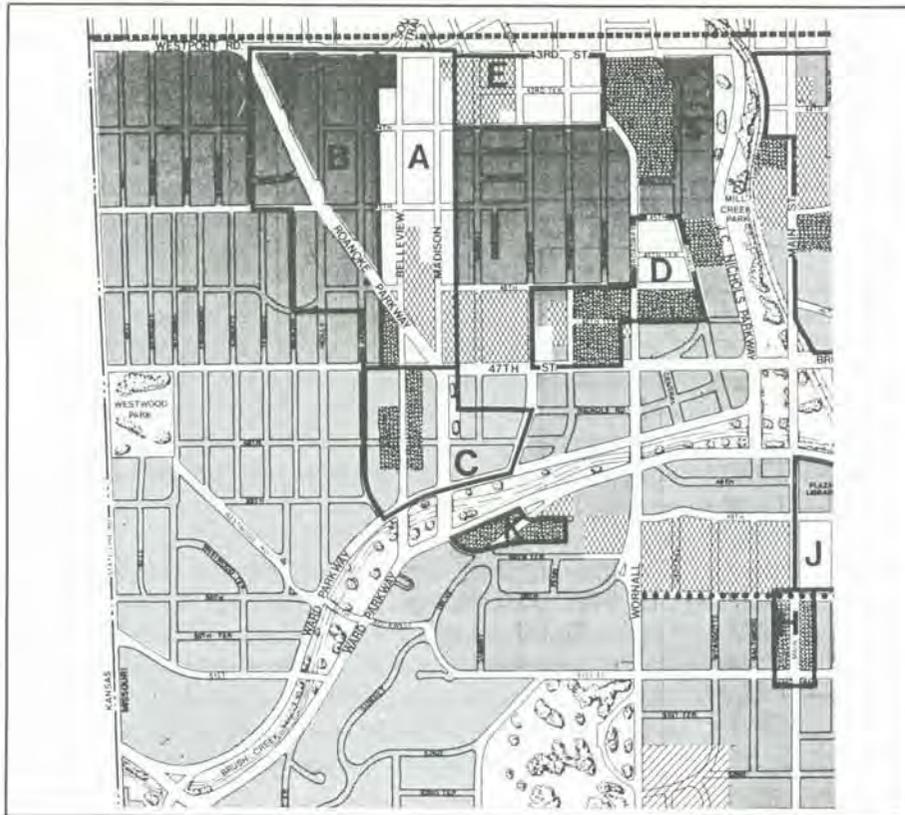
It is clear that the current management of the Nichols Company intends to maintain the current use, density and character of the shopping district. Recent development of the shopping area, while it has resulted in major change to the retailing mix, has preserved and enhanced the existing physical fabric. This plan supports and recommends that the established precedent of the low-rise building character of the shopping area be preserved and conserved in the future. A central assumption of this plan is that the Country Club Plaza shopping area will remain as the focus of the Plaza area. If this premise about development within the Plaza changes, the City will take the necessary planning and zoning actions to insure that the Country Club Plaza remains intact.

The Plaza-Westport and West Plaza Areas South of 43rd Street

- Specific areas of the northwest quadrant, east of Bellevue and directly north of the Plaza shops, are the most appropriate sites for additional new development. These sites are either directly adjacent to the Country Club Plaza, or are in close proximity to the rapidly developing commercial and entertainment center along Westport Road. This plan recommends that redevelopment occur along the arterial streets around part of the periphery of the Plaza-Westport neighborhood, allowing the residential core to remain.

- The sites appropriate for redevelopment in the northwest quadrant include: the land area between 46th and 47th Streets, the property fronting onto the Madison-Belleview Corridor, the property fronting 43rd Street and the property between Broadway and Wornall and south of St. Luke's Hospital. The Planning Recommendations map illustrates the location of these sites and approved (but not yet constructed) projects. Rezoning to the proposed C3a2-PLAZA and R5a zoning categories or land use densities could be considered for these sites.

- Design guidelines for these specific redevelopment areas have been developed and are discussed in the Urban Design Guidelines chapter on page 67.



Legend

- Study Area Boundary
- ▲ Institutional Master Plans Requested
- ▨ Potential Redevelopment Within Existing Zoning
- No Recommended Rezoning
- Potential Redevelopment Areas
- ▨ Historic Neighborhood District
- ▨ Approved Development Project
- ▨ UMKC North Campus
- Southern Boundary of Large-Scale Development
- E** Areas With Specific Guidelines



Northwest Quadrant Planning Recommendations

Northwest Quadrant

Planning Recommendations

Potential Redevelopment Areas

- Redevelopment between Madison and Washington, 43rd to 44th Streets could include medium-rise residential uses and residential development that support the hospital.
- Redevelopment between Jefferson and Broadway, 46th and 47th Streets could include a mixed use development of residential, office and retail uses.
- Redevelopment between Broadway and Wornall, 45th and 46th Street could include medical offices and medium-rise residential uses.
- The Madison-Belleview Corridor is an area that has been identified as a location for potential redevelopment. The proposed zoning category, O-5 as outlined on page 49, is appropriate for the east side of Madison and the west side of Belleview. This plan recommends that the area located between Madison and Belleview could develop to a higher density, not to exceed the proposed C3a2-PLAZA and R5a land use recommendations. Urban design guidelines have been prepared for this corridor and are contained in the Urban Design Guidelines chapter. At the northeast corner of 46th and Madison, a building height of 7 stories or 300 feet Kansas City Datum is an appropriate transition of building height from the 16-story towers adjacent to this location.

Master Plan for St. Luke's Environs

- St. Luke's Hospital has been acquiring properties to permit its expansion, generally north of 43rd Street. This plan suggests that the Hospital develop a Master Plan to guide future expansion of the hospital facilities. This master plan should be submitted to the City Plan Commission to assist the Commission when considering future requests.

Plaza-Westport Neighborhood

- The Plaza-Westport neighborhood located at the core of this quadrant should remain residential. Rezoning of the residential core will not be considered and the guidelines outlined on page 71 should be used for infill housing or new residential development within the existing zoning designation.
- Institutions and real estate development companies have been acquiring properties in this quadrant in anticipation of the northward expansion of the central Plaza area. While many of the existing buildings have been constructed at densities well below those permitted by current zoning, the property assemblages have probably been made in anticipation of significant changes in land use and increases in density.

On the other hand, much of the property within this area is residential, although only 12.6% of the single-family dwellings are owner-occupied. The plan seeks to preserve and maintain this residential area by recommending that the residential core not be rezoned. Excluding the development sites previously mentioned, this plan anticipates that there is far more potential land available within this quadrant than there will be potential development over the next 15 to 20 years. Therefore, this plan recommends that development be limited and directed toward the sites identified on the Planning Recommendations map.

Housing Conservation Policies Along Roanoke Parkway

- West of the Madison-Belleview Corridor, there are many sound, well-designed garden apartments, particularly along Roanoke Parkway. Community input at meetings held during this planning process indicated concern regarding the deteriorating conditions of some of these buildings. Part of this deterioration may be the result of owners assembling sites in the expectation of removing the existing buildings and replacing them with larger structures.

- The planning policy recommended by this plan is not to rezone this residential area. The assemblage of these sites for additional office development or high-rise residential units within this area of the Plaza is not recommended. Additional high-rise housing sites that may be needed can easily be created elsewhere, without sacrificing these existing, sound, affordable housing units.

The overwhelming public interest expressed at community meetings was to encourage the maintenance and rehabilitation of the apartments in the Roanoke Parkway area through code enforcement and clinics for building owners to assist them in professional property management techniques. Changes in zoning for this area or any form of public assistance in land assemblage is definitely not recommended.

- For recommendations on the other neighborhoods within this area refer to the Neighborhood Chapter planning recommendations on page 24.

Zoning Recommendations for the Plaza Area

Planned District

All applications for rezoning should be for some form of a planned district zoning classification. These applications should include the planning concepts and recommendations made in this document.

C3a2-PLAZA

C3a2-PLAZA Zoning Recommendation

This plan recommends a new commercial zoning category for future large-scale commercial and mixed use projects in the Plaza area. The proposed zoning district, C3a2-PLAZA, would not restrict the uses allowed in the existing C3a2 category, nor would it apply to the existing C3a2-zoned areas. However, C3a2-PLAZA would be limited to a more restrictive floor area ratio (F.A.R.). F.A.R. is the ratio of the total gross floor area of the buildings in a project to the land area of the site. In the proposed C3a2-PLAZA zoning category, the total gross floor area of any new structure should not exceed 3.0 times the total lot area occupied by that structure above grade, unless bonus criteria listed below are met. Therefore, parking structures located above grade should be calculated as part of the floor area ratio. This zoning category could apply to future projects requesting large scale commercial zoning in the specific areas identified in this chapter and should have a minimum land area of two acres. The recommendation of this plan is that the existing zoning category of C3a2 is not appropriate for future use in the Plaza area except for planned district requests that incorporate the ideas listed in this proposed zoning recommendation. The maximum building height for this category should not exceed 12 stories or 156 feet in height.

Development plans that incorporate any of the following design features can receive a bonus in the allowable C3a2-PLAZA F.A.R.

F.A.R. Bonuses

Maximum Bonus

1. Open space within the project site that is accessible from the building lobby and the public sidewalk, and that is 60% paved and integrated into the Plaza pedestrian network. The buildings on the project site should not block the sun from the open space during hours of peak usage, from 10:00am to 3:00pm. Parking areas should not be considered as open space.

Add .10 FAR

2. If retail/restaurant activities are adjacent to or surround the open space within a project, or if retail activities line the public sidewalk around the project.

Add .10 FAR

3. Building materials and masses that are well articulated and reflect the character of the Country Club Plaza. (note: mirrored glass is not appropriate; masonry materials are essential)

Add .10 FAR

4. Parking that is not located at the street level of a project, other than the entrance into the parking structure.

Add .10 FAR

5. Building entrances and lobbies that have direct access from the public sidewalk.

Add .05 FAR

6. If a building forms a continuous street wall around the perimeter of the site, punctuated with fenestration and plane changes and incorporates the required amount of open space (note: the built form would be similar to that of the Country Club Plaza).

Add .15 FAR

7. If the facade of the parking structure is treated with architectural details that enhance the design of the structure.

Add .10 FAR

This proposed zoning category would be applicable to the following identified redevelopment sites: (1) the land area between the Madison/Belleview corridor, north of 47th Street and south of 43rd Street; (2) the land area between Jefferson and Broadway, and 46th and 47th Streets; (3) the land area on the west side of Main Street, between H&R Block and 43rd Street; (4) the land area between Troost and the Paseo, and Brush Creek Boulevard and Brush Creek; and (5) the land area at the southern end of the block at 49th and Main. Additional restrictions for these sites are listed in the Urban Design Chapter and in the Urban Design Guidelines Chapter.

URD Zoning Recommendations

If a proposal is submitted to the City Plan Commission requesting the URD zoning category, then the recommendations of the C3a2-PLAZA and R5a zoning categories should be the criteria used to develop the plan.

Residential Zoning Recommendations

Proposed single-family (R1bb) and high-rise (R5a) residential zoning categories are described the Neighborhood Chapter on pages 28 and 29 respectively.

Sign Ordinance Recommendation

The types and sizes of signs suggested within the Urban Design Guidelines Chapter make new signage recommendations. This plan recommends that the sign ordinance be reviewed and amended to incorporate these proposed changes.

Office Zoning District Recommendation

This plan recommends a new office zoning district. This proposed zoning designation would be titled O-5 and would have the following requirements:

1. A minimum lot area of 15,000 square feet.
2. A maximum building height of 5 stories or 75 feet.
3. A maximum floor area ratio of two.

This category could be applicable to all locations where the use of the proposed C3a2-PLAZA category has been suggested. This category could also be applicable on the east side of Madison and on the west side of Belleview as described earlier in this chapter.

Zoning Recommendations

6. Transportation

Existing Vehicular Circulation

The street network presently serving the Plaza area is comprised of primary arterials, secondary arterials and collector streets. The primary traffic arterials not only provide access to the Plaza area but also carry substantial volumes of through traffic traveling to destinations other than the Plaza area. For example, Ward Parkway serves as a major arterial to and from many areas south of the Plaza. Traffic volumes along these primary arterials generally exceed 20,000 vehicles per day, which is a high volume by local standards. All of the primary arterials except Main Street, Belleview and Madison Avenues are four-lane facilities. Main Street north of 47th Street is six lanes wide; Belleview and Madison Avenues north of Brush Creek are each three lanes in width and serve as a one-way pair. The existing secondary arterials and collector streets adequately serve the Plaza area and surrounding neighborhoods. In addition, the Area Transportation Authority (ATA) has bus routes along all of the primary arterials.

Analysis of Existing Circulation

- The existing development in the Plaza area is adequately served by the street system, except in situations of peak demand.
- The intersection of Main Street and 47th Street (Brush Creek Boulevard), is a major connection in the Plaza area because it handles a significant amount of both east-west and north-south traffic. The intersection is very congested at peak hours and has a very high number of vehicular traffic accidents.

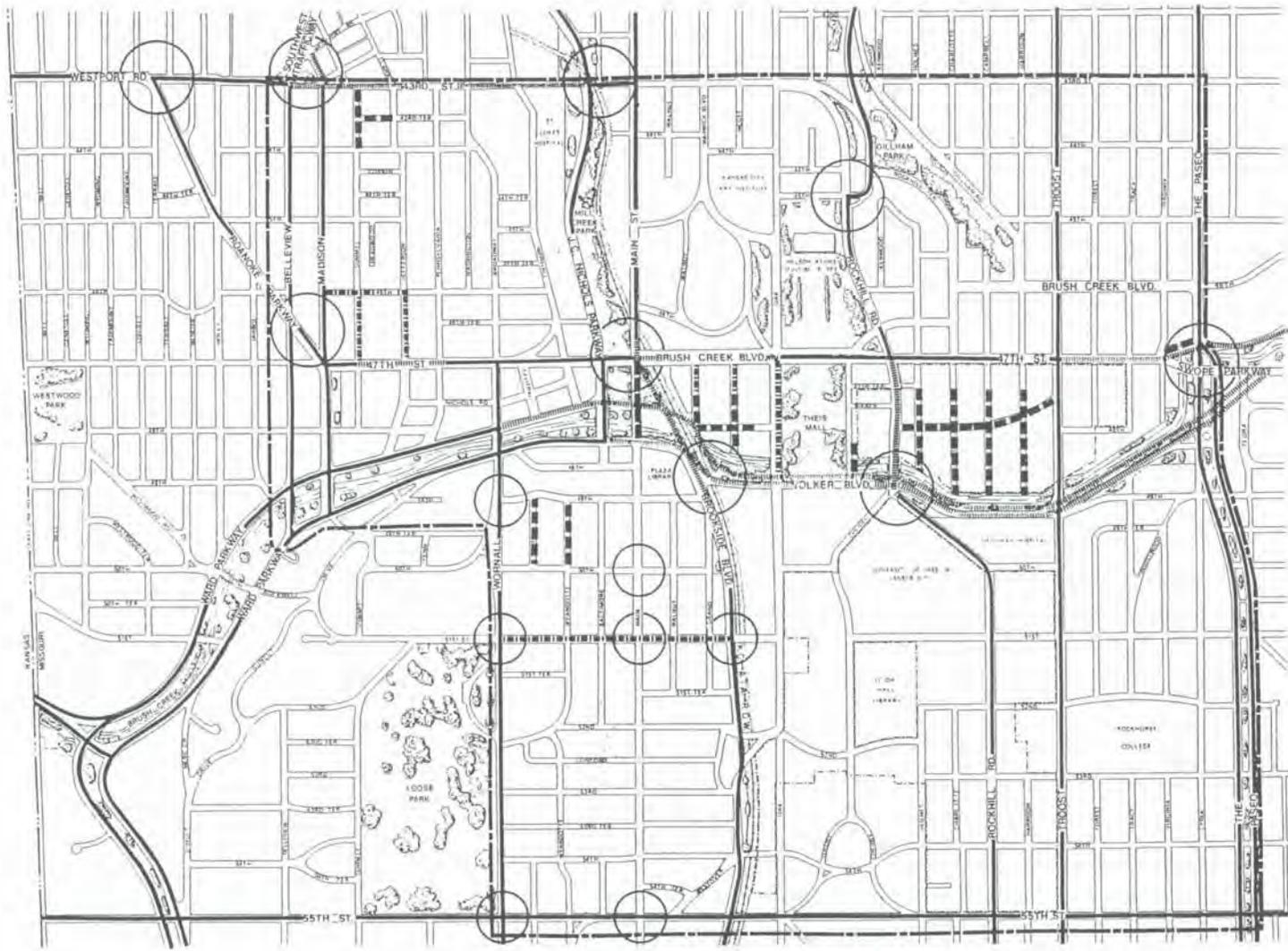
- Several of the existing north-south primary arterials are discontinuous streets because they are interrupted by Brush Creek, the topography and the early platting of the street network. This lack of continuity of major streets causes motorists to make significant turning movements as they travel north and south through the Plaza area. Most of the east-west streets are limited in length and do not provide continuous access through the area, with the exceptions of 47th and 55th Streets. This discontinuity in major streets is likely to cause traffic problems as the volume of traffic in the Plaza area increases with new development.

- Oak Street is currently designated as a collector street. With increased traffic in the Plaza area and no changes in the arterial street system, its role is continuing to change from a street that carries neighborhood traffic to a major through street.

- Traffic and transportation are major issues affected by future development in the Plaza area. Development projects approved since 1982, as well as any large-scale future developments, would strain the existing circulation system if improvements are not made.

- The need for transportation improvements in the Plaza area and the limited capacity of the area to accommodate huge traffic volumes even after improvements are made will either limit the amount of future development in the area or result in increased congestion.

- The following map identifies intersections and streets which the City Transportation Department has identified as needing improvements including: widening, roadway extensions, or intersection redesign if/when major development occurs.



- Plaza Area Environs Fund Boundary
 - ▬ Street Improvements
 - ▬ Streets to be removed
 - Major Street Improvements
 - Intersections to be Improved
 - Major Streets
- 


Circulation Improvements

Parking Issues

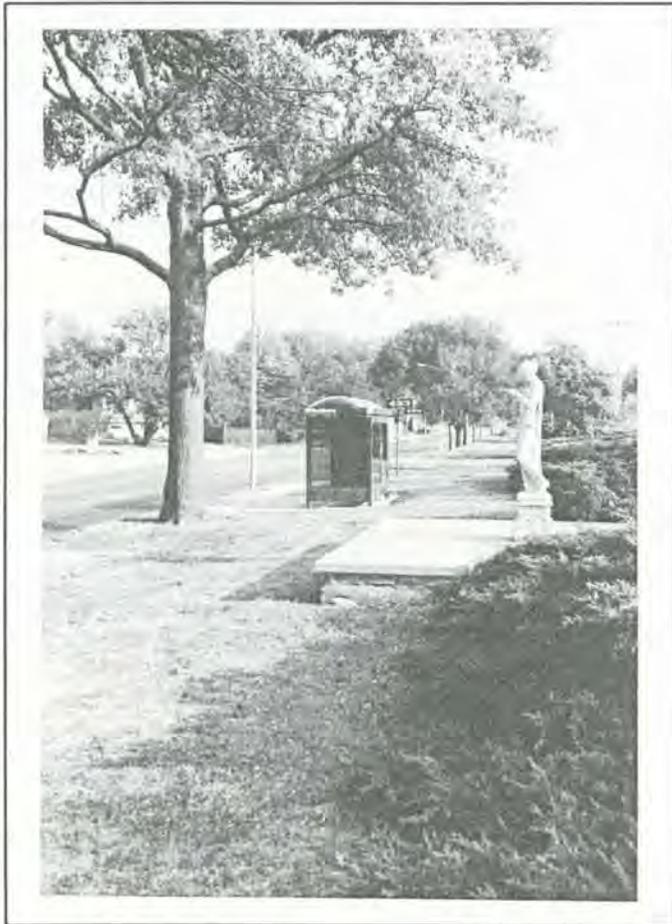
- On-site analysis of the parking situation in the Plaza area indicated that adequate off-street parking is not provided in the neighborhood areas where the older apartment buildings are located.
- Parking problems in the Plaza area tend to be concentrated in the northwest quadrant around St. Luke's Hospital, near UMKC in the day time, and in the neighborhoods where the older apartment buildings with no off-street parking are located.
- Opportunities for shared parking facilities between different users should be examined, especially between apartment tenants and commercial parking garages, as well as along Main Street in the south quadrants.

Roadway Service

- One of the most important measures of roadway performance and levels of service along roadway sections is travel speed. Travel speed reflects the amount of traffic and delays at traffic signals. The arterial streets in the Plaza area should accommodate overall travel speeds of about 25 mph. The travel times recorded for the Plaza area in June, 1984, indicated travel speeds less than the 25 mph standard; two sections of the arterial streets do meet this standard. This table listing all of the travel speeds for these arterials is in the Appendix on page 109. The transportation recommendations contained in the following section suggests roadway improvements to decrease the travel times and increase the travel speeds for the Plaza area roadway network.

Transportation Recommendations

While the Plaza has been assuming many of the functions of a downtown, it has not been supported by the kind of access system that a downtown needs. The Plaza will never have the highway access available to downtown Kansas City, nor should it, but it is possible to improve vehicular access significantly through relatively minor changes in the road pattern. Those changes are described with the following recommendations.



Landscaped Country Club right-of-way rail line

Transportation Contributions

- The Plaza area is one of five designated areas in the City in which developers are asked to provide funds for improvements to the existing roadway network beyond the boundaries of a developer's specific project. Future development projects will continue to be asked to contribute for improvements of the transportation system according to criteria established by the City Transportation Department.

Transit Right-of-Way

- The existing Country Club rail line right-of-way that extends from Westport through the Plaza area to Waldo should be preserved for possible use in future transit systems. Where the rail line right-of-way parallels the new Main/Brookside connection, a land exchange should be carried out that will move the right-of-way to the west side of the intersection at 47th and Main in order to facilitate traffic movements.

Improved Bus Service

- The current bus service to the Plaza should be improved to take into account the Plaza's increased function as a major place of employment. The Area Transportation Authority should continue to study the demand for bus service in the Plaza area.

Transportation Recommendations

East-West Access

Improvements in East-West Access

When the Bruce R. Watkins Memorial Drive is completed, both Volker Boulevard/Swope Parkway and 47th Street/Brush Creek Boulevard will have direct access from the regional highway system. If this proposed east-west system is in place by the time planned new developments are completed, it should be able to handle the projected levels of traffic. These significant arterial street system realignments and improvements are also part of the Brush Creek flood control protection and landscaping plan.

- High priority should be given to connecting Swope Parkway at The Paseo to the relatively underutilized Volker Boulevard, and closing the current connection between Swope Parkway and 47th Street. Brush Creek Boulevard will be designed to connect to 47th Street as part of the redesign of this intersection. This proposal is part of the City's Major Street Plan. Flood control work and the realignment of Brush Creek will be incorporated into the roadway improvements.

- Later, as the Sailors development and U.M.K.C. North Campus are completed, Volker Boulevard should be widened to six lanes from its current four. The Major Street Plan should be amended to make this segment of Volker Boulevard a primary rather than a secondary arterial.

- Ward Parkway should become a one-way pair system through the Plaza, as it is southwest of the Plaza. The west-bound lanes of Ward Parkway would be north of Brush Creek, the east-bound lanes south of Brush Creek. The north drive of Ward Parkway would be extended east from J.C. Nichols Parkway to the new Main Street/Brookside Boulevard, creating a complete six-lane east-west system.

- It may be possible to design the Ward Parkway one-way pairs so as to accommodate a two-directional service street on the north side of Brush Creek adjacent to the Country Club Plaza shops.

- 47th Street should become Brush Creek Boulevard from Main Street east, and treated as a landscaped boulevard for the entire route. The discontinuous portions of Brush Creek Boulevard north of 47th Street between Rockhill and Troost should be removed from the Boulevard system in exchange for making 47th Street a continuous Boulevard, a long-standing plan of the Board of Parks and Recreation Commissioners.

- To improve local traffic, 43rd Street should be widened to five lanes between Nichols Parkway and Belleview, and should the removal of the Country Club right-of-way rail line overpass permit it, the widening should be extended to Main Street. Wherever possible, additional turn lanes should also be provided in this stretch of 43rd Street.

- Connecting 45th Street through from Jefferson to Broadway, in the northwest quadrant, is not recommended because it contradicts the land use and neighborhood recommendations outlined earlier in this report.

51st Street Improvement

- 51st Street is a two-lane residential street that is a through street between Wornall Road and Brookside Boulevard. This plan suggests that this street could be improved to a collector street between these two roadways in the future.

Transportation Recommendations

Improvements in North-South Access

- A new roadway should be built from Main Street at 47th Street to Brookside Boulevard. This Main/Brookside connection would provide a continuous north-south street through the Plaza area. Brookside Boulevard will be widened south to Meyer Boulevard to four lanes with a tree-lined median. Under the existing plan no additional right-of-way needs to be acquired along Brookside Boulevard from 49th to 55th Streets.

- Main Street will be terminated at its intersection with Brookside Boulevard at approximately 59th Street. This will greatly reduce the increasing traffic volumes along Main Street from 49th Street to 59th Street and will allow Main Street to remain as a neighborhood street. The Major Street Plan should be amended to reflect this decrease by downgrading this segment of Main Street from a secondary arterial to a collector street.

- Redesign of the intersection of 52nd Street and Oak Street as part of the improvements to Brookside Boulevard between 51st and 52nd Streets will reduce through traffic on Oak Street south of 52nd Street, returning this narrow street to its neighborhood traffic function.

- Rockhill Road will be widened to five lanes from Volker Boulevard to 47th Street; this improvement will be completed as needed to accommodate increased traffic resulting from the UMKC North Campus project.

Madison-Belleview Study

- In response to the potential redevelopment of this corridor as outlined in the Land Use Chapter, page 45, the City Transportation Department should undertake a comprehensive study of the Madison-Belleview Corridor. The study should make recommendations on turn lanes, curb cuts, signalization, pedestrian crossings, and minimizing traffic flow through residential areas. This study should also make specific recommendations regarding the needed improvements to 44th, 45th and 46th Streets.

Brush Creek Bridges Replacement Schedule, Design and Construction:

The following bridge replacements will be necessary to complete the flood control project for Brush Creek. For additional information see the Open Space Chapter on page 58.

1. **Rockhill Bridge**--May, 1989 to September, 1990.
2. **Oak Street Bridge**--March, 1991 to March, 1992.
Note: This new bridge will be needed because of the removal of the waterway conduit below Theis Mall (Volker Park).
3. **Bridge for Main-Brookside Connection**--May, 1991 to May, 1992.
4. **Removal of the existing Main Street Bridge**--May, 1992.
5. **Rockwell Bridge**-- May, 1991, to October, 1991.
6. **Paseo Bridge**-- May, 1992, to November, 1995.

North-South Access

7. Public Open Space

Existing Open Space in the Plaza Area

Perhaps the most visible and enjoyable attributes of the Plaza are the numerous City parks and boulevards located throughout the area. Numerous parks, such as Loose Park, Mill Creek Park, Gillham Park and Theis Mall, in front of the Nelson Gallery, all provide large open areas for public recreation. In addition, the Plaza Tennis Center, located near 47th and Main, the jogging trail in Mill Creek Park, bicycling paths along Brush Creek and the area of Brush Creek used for Concerts in the Parks all provide active recreational areas for public use.

Many tree-lined boulevards are located in the Plaza area. Ward Parkway, Brush Creek Boulevard, J.C. Nichols Parkway and Roanoke Parkway all provide well landscaped, aesthetically pleasing entries into the Plaza area. These boulevards, in combination with the parks in the Plaza area, all provide green open space that is a visual, as well as usable, asset to the Plaza area.

Analysis of Open Space

Although the Plaza area is enriched with numerous parks and boulevards, there are several issues of concern about the usefulness of these facilities. The following issues need attention:

- Brush Creek, which runs throughout the Plaza area, is susceptible to flooding. To avert any recurrence of the tragic 1977 flood in the Plaza area, the U.S. Corps of Engineers is planning a flood-control project that will involve major redesign, realignment and deepening of Brush Creek. The flood-control project is certainly needed and creates the opportunity to improve significantly the landscaping and usability of the park lands adjacent to the creek.

- Loose Park is one of the most actively used city parks, and the amount of public use creates some problems. Issues of parking, circulation, noise and security should be addressed in any future design changes to the park. The Parks and Recreation Department has recently undertaken studies to redesign and renovate Loose Park Lake. As funds become available, the lake will be renovated.

- Despite their prominent location within the city, some of the parks are underutilized. Mill Creek Park, Southmoreland Park and the southern end of Gillham Park are not used to their capacity. Issues such as general maintenance, mowing and parking should be addressed to increase the utilization of these parks.

- Theis Mall is a key element within the Plaza area because it provides a grand vista for the Nelson-Atkins Museum of Art. The mall, located south of the Gallery, provides a strong axis and view toward the Nelson Gallery. The mall also provides an open space connection between two major redevelopment projects -- The Brush Creek Redevelopment (Sailors' Project) and the UMKC North Campus area. The pedestrian connections between these two projects should not be overlooked.

- Several major roadways leading to the Plaza do not provide aesthetically pleasing entries to the area. Landscaping improvements including adequate sidewalks, lighting and street trees should be considered on the following roadways: the Madison-Belleview corridor, Main Street, 43rd Street and 47th Street.



Legend

-  Parks with date of Acquisition
-  Boulevards and Parkways

Parks and Boulevards

Planning Recommendations

Brush Creek

In order to ensure that a well-landscaped park design is incorporated into the flood control improvements for Brush Creek, the Board of Parks and Recreation Commissioners retained Albert Groves and Associates, an engineering and landscape architectural firm, to study the ways in which the engineering changes to Brush Creek could be aesthetically designed and well landscaped to create a dynamic and usable park for the Plaza area. The Groves plan proposes that a series of lakes be created throughout the entire creek bed, all the way to the Blue River. These lakes would be located in the area that is now the concrete channel of Brush Creek.



The J.C. Nichols Fountain at Mill Creek Park

It is imperative that the landscape design of the area be an integral part of the flood control project from the initial stages of the Corps' improvements. The administrative structure for integrating a park design with engineering improvements is in place, and will continue to require cooperation between several City departments and the Corps of Engineers. There will be additional costs associated with the landscape improvement. City funds will need to be made available on a schedule that is coordinated with the appropriations for the engineering improvements.

Frank A. Theis Memorial Mall

- The Brush Creek flood-control improvements will require opening the Brush Creek channel through the southern end of Theis Mall, near Volker Boulevard, where it is currently located underground in a tunnel. The Groves plan recommends that a lake be created at this location. In conjunction with these flood control improvements, this plan recommends that landscaping improvements should be made to the Mall, both to enhance its prominent location between the Brush Creek Redevelopment (Sailors' Project) and the UMKC North Campus projects and to maintain its formal setting as a grand vista toward the Nelson Art Gallery.

The northern portion of the Mall, north of Brush Creek Boulevard is currently being designed as an outdoor sculpture garden, to display the Henry Moore sculptures donated to the Nelson-Atkins Museum of Art by the Hall Family Foundation. The design studies are being prepared by Dan Kiley and Associates, landscape architects, in association with Jaquelin Robertson of Design Development Resources.

Landscape Improvements for the Madison-Belleview Corridor and Main Street

Landscape improvements should be required along the Madison-Belleview Corridor from 43rd Street to Roanoke Parkway. These improvements, including street trees, sidewalks, and improved lighting, are included in the guidelines on page 76. In addition, guidelines for landscape improvements along Main Street, south of 49th Street are included on page 85.

Boulevard Improvements to 47th Street

As stated in the transportation recommendations, 47th Street should become Brush Creek Boulevard from Main Street to The Paseo. A landscaped median should be created along all of this segment of Brush Creek Boulevard, similar to the median that exists in the boulevard that divides the south mall of the Nelson Art Gallery. Other landscaping improvements such as street trees, sidewalks, and pedestrian-scale lighting could be utilized to achieve this boulevard treatment.

Improvements at Rockhill Road and 47th Street

With the recommendation previously stated of improving 47th Street to a boulevard and the future increased traffic due to the UMKC North Campus project, the intersection of Rockhill and 47th Street should be improved with left and right turn lanes and appropriate signalization.

Closing Locust Street at Volker Boulevard

The intersection of Locust and Volker should be eliminated, partly for traffic reasons, as it is not appropriate to have another intersection so close to Volker and Rockhill, and partly because of the flood improvements, which make it preferable to eliminate the bridge at Locust Street. As Locust would no longer be a through street between 47th and Volker, some flexibility is possible in its treatment along the Mall frontage. Locust could even be eliminated south of 48th Street.

Planning Recommendations



The Volker Fountain at Theis Mall

Planning Recommendations



The Plaza Tennis Center

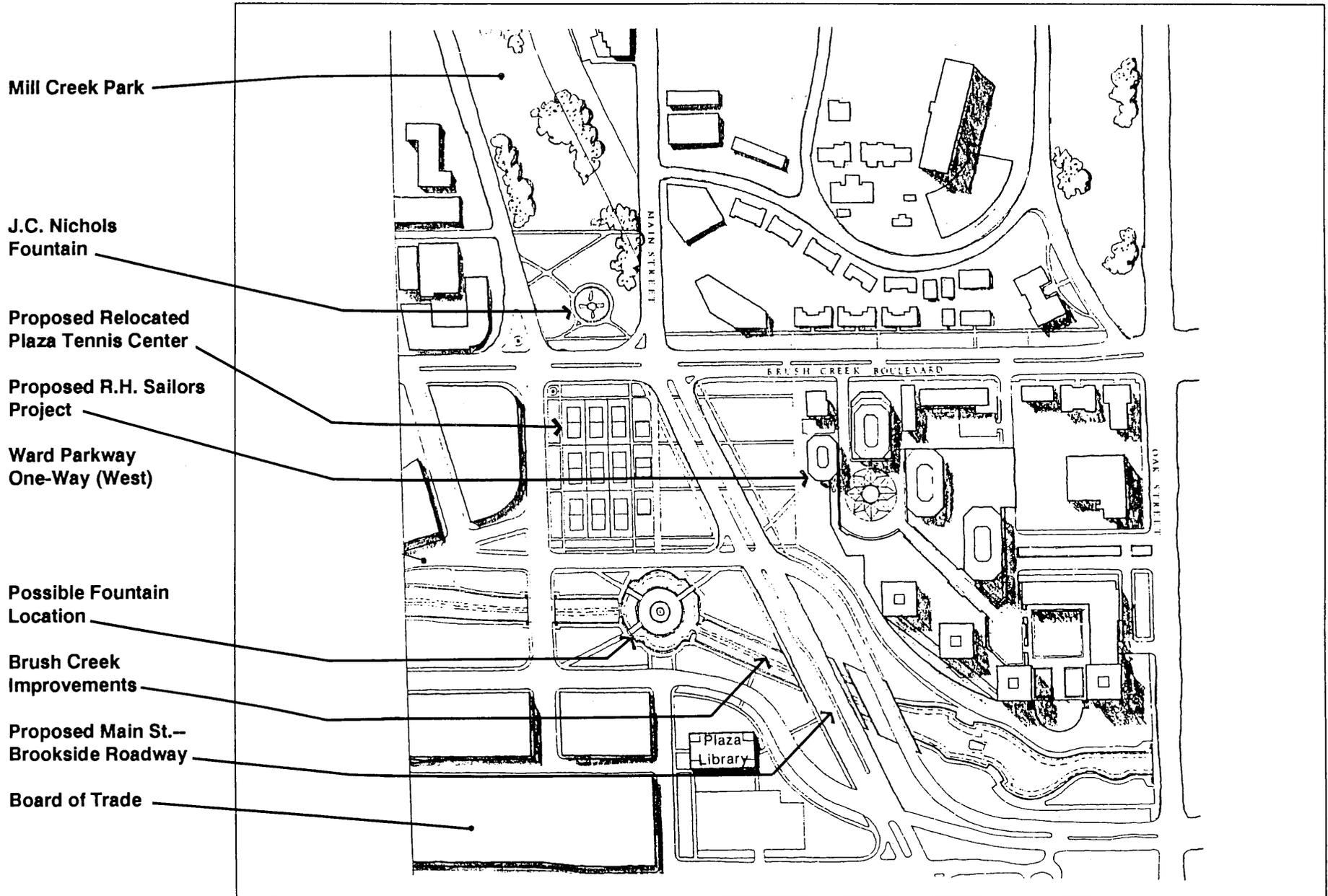
The Tennis Courts

- The proposed Main Street/Brookside Boulevard connection will require the relocation of the existing tennis courts located between Main Street and the existing railway line. When Main Street is closed south of 47th Street, there will be adequate space in the area vacated by Main Street to replace the tennis courts of the Plaza Tennis Center which will be removed when the north drive of Ward Parkway, located north of Brush Creek, is connected to Volker Boulevard. See the plan on page 61.

Main Street as a Gateway to the Plaza

- Main Street is a major gateway into the Plaza area. This vehicular entry should be enhanced; this could be accomplished with the addition of a major fountain or other significant landscape element. For example, if the Main Street bridge is removed as part of the Brush Creek flood-control project, one possibility would be to place a new fountain in Brush Creek on the Main Street axis as shown in the drawing on the following page.

Main Street as a Gateway to the Plaza

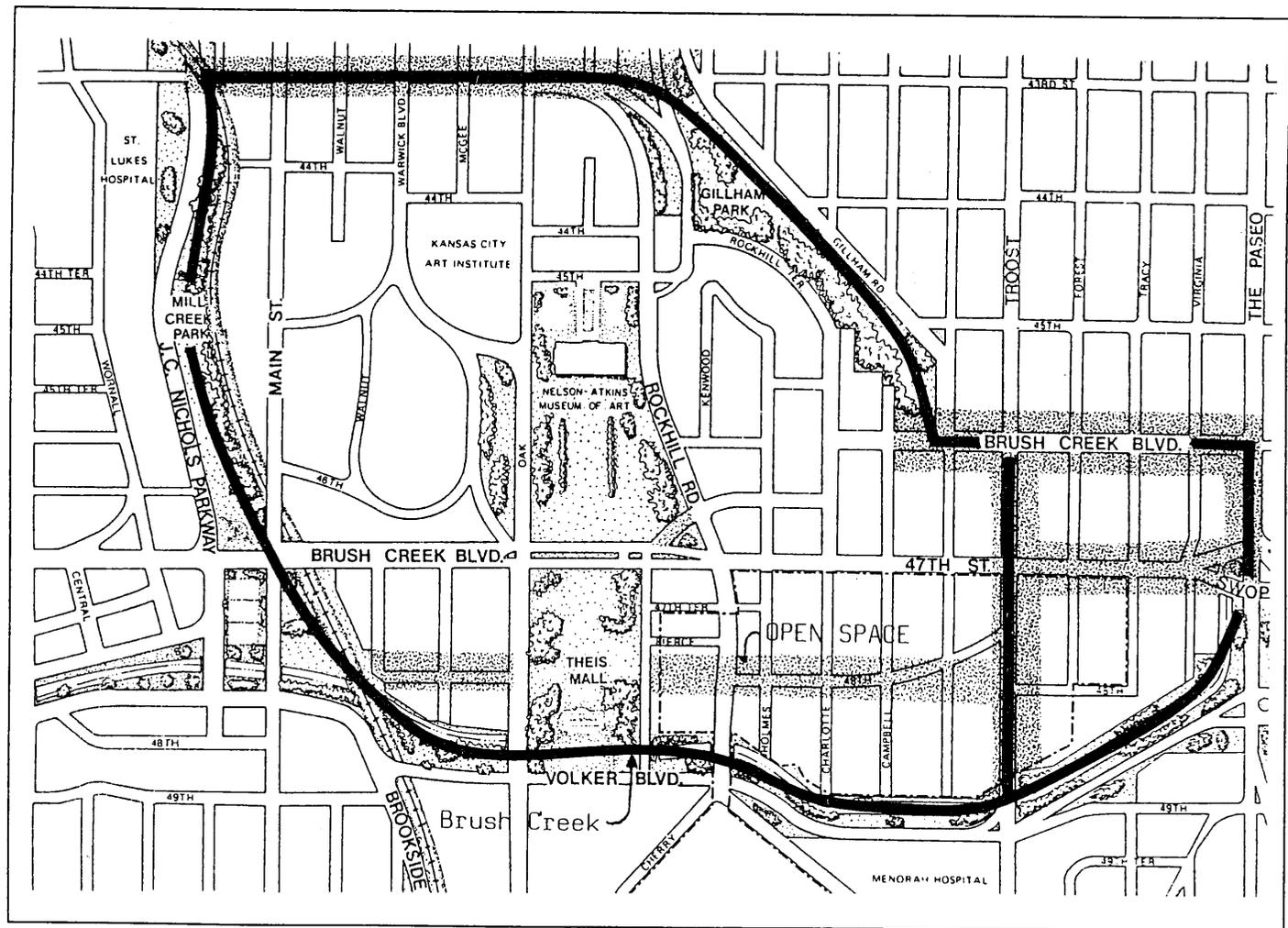


Pedestrian Open Space Connections

Pedestrian Open Space Connections

The opportunity exists to create a continuous pedestrian connection or jogging trail in the northeast quadrant by linking the existing parks and boulevards in the Plaza area. This could be done by connecting Mill Creek Park to Gillham Park via 43rd Street; then connecting the southern end of Gillham Park to Brush Creek via Brush Creek Boulevard and The Paseo.

These connections can be enhanced with landscaping and sidewalk improvements. This pedestrian connection could then continue through the UMKC North Campus, then continuing to the Country Club Plaza along Brush Creek. The park around Brush Creek leads back to Mill Creek Park, thus forming a continuous pedestrian and jogging loop. With the proposed redesign of Brush Creek, this connection should be a component of the landscaping improvements.



8. Historic Preservation

The quality and the special character of the Plaza can be attributed to the many buildings and neighborhoods that collectively make up the Plaza area. The bell-towers with decorative ceramic tile, the high-rise brick apartment buildings with terra cotta details, the stately building and landscaping of the Nelson-Atkins Museum of Art, and the well constructed single-family homes collectively create the historic character of the Plaza area. The preservation of this historic character is critical to the long-term vitality and ambience of the Plaza. Several buildings and neighborhoods within the Plaza area have already been designated as landmarks by the Kansas City Landmarks Commission (approved by the City Council). Many of these buildings are also listed on the National Register of Historic Places. Refer to the following discussion and the Historic Buildings and Districts map on page 65 for the names and locations of the existing historic properties.

Existing Historic Neighborhood Districts

Four historic neighborhoods currently exist in the Plaza area; these neighborhoods are:

- the Rockhill neighborhood 1912-1923 (local)
- the Rockhill neighborhood 1901-1910 (local and national),
- the Southmoreland Neighborhood 1889-1925 (local), and
- the Simpson-Yeomans/Countryside neighborhood 1908-1926 (local and national).

Existing Historic Residences

Individual buildings may also receive landmark designation. Several architecturally significant homes are on the National Register of Historic Places. These include:

R.E. Bruner Residence at 4340 Oak
August R. Meyer Residence at 4415 Warwick Boulevard
Bernard Corrigan Residence at 1200 West 55th Street

and numerous residences designed by Mary Rockwell Hook in the Sunset Hill neighborhood. These residences are part of a thematic (having a common bond--these residences were all designed by the same architect) nomination:

5012 Sunset Street 1004 W. 52nd Street
5011 Sunset Drive 5029 Sunset Drive
5050 Sunset Drive 5030 Sunset Street
4940 Summit Drive
and 54 East 53rd Terrace (not in Sunset Hill)

The Seth Ward Residence at 1032 West 55th Street and the Sophian Plaza building at 4618 Warwick Boulevard are listed on the local and national registers.

Existing Historic Commercial Buildings

One commercial building in the study area is on the National Register of Historic Places. It is the D. W. Newcomer's Sons funeral home at 1331 Brush Creek Boulevard.

Planning Recommendations

Preserve Historic Properties

This plan recommends the preservation of historic buildings and neighborhoods within the Plaza area. Buildings that contribute to the character of the area should be reviewed and considered for continued preservation. The design integrity of the existing buildings that provide the character of the Plaza area should be preserved and enhanced. Preservation of historic properties can be undertaken in the following three ways:

1. Rehabilitate Existing Historic Properties

Guidelines currently exist for the rehabilitation of historic properties. These guidelines, issued and developed by the National Park Service and the local Landmarks Commission, outline the design criteria for rehabilitation of historic buildings. These guidelines also address new construction in historic neighborhoods. Contact the Kansas City Landmarks Commission to obtain these guidelines.

2. Identify Historic Properties

The opportunity exists for many buildings in the Plaza area to receive landmark designation. Those include: apartment buildings, single-family residences, neighborhoods, commercial buildings, and public buildings.

Among the neighborhoods within the Plaza Study area that possess the requisite integrity of design, materials and workmanship necessary for historic district status is the extension of the Countryside neighborhood district. (Other neighborhoods may have landmark and historic district potential; however, architectural surveys have yet to be conducted in these areas.) This neighborhood is an intact, coherent grouping of period houses constructed during the first few decades of the twentieth century. Further research by the Landmarks Commission is needed to justify historic landmark status for neighborhoods that currently are not historic districts.

Several groupings of apartment buildings and commercial districts in the study area possess the requisite qualities for

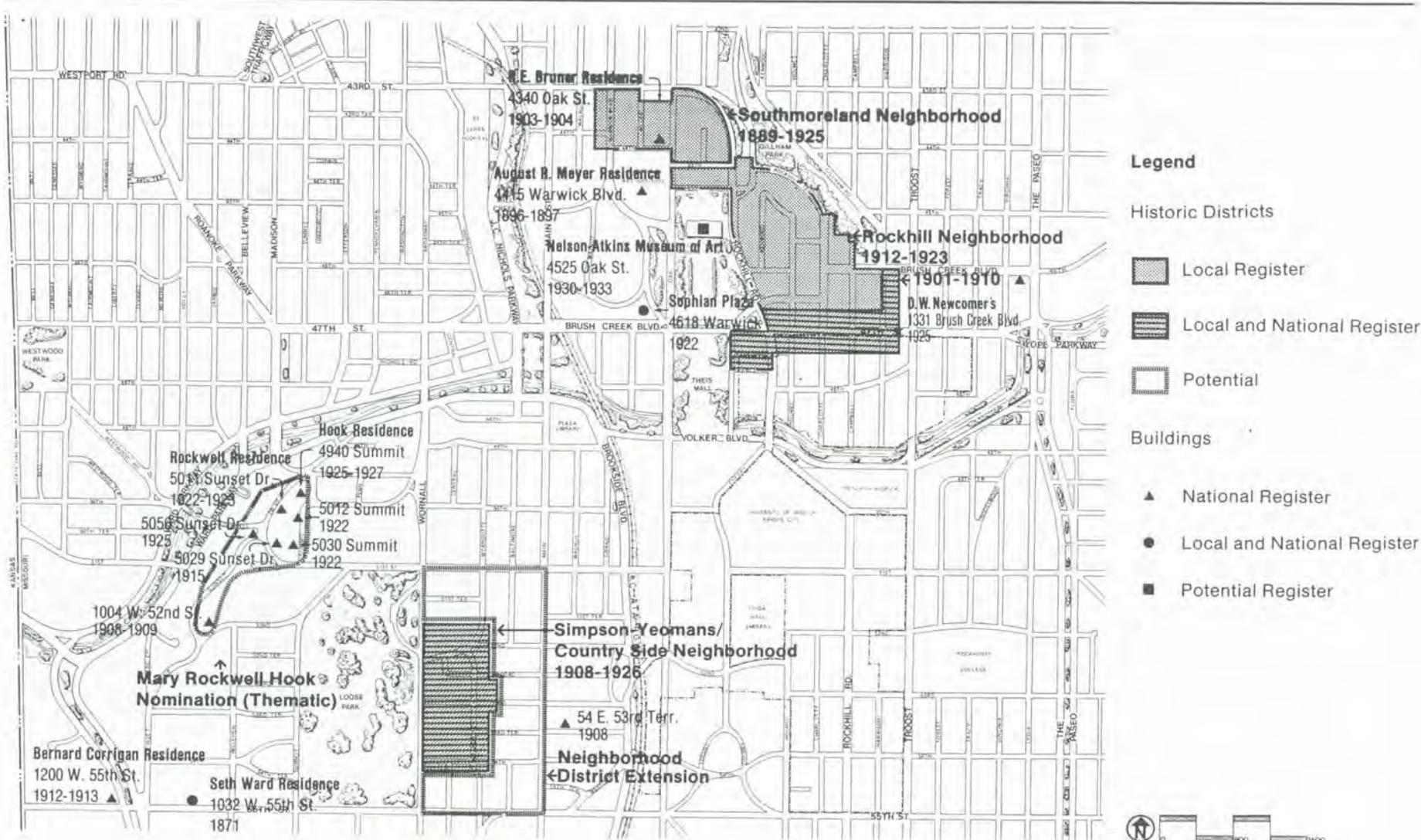
local landmark or historic district designation. Some of these groupings of apartment buildings exhibit distinctive architectural styles that reflect and contribute to the historic development of the Plaza.

A survey of all buildings in the Plaza area should be prepared to collect data for potential nominations.

3. Nominate Historic Properties

Obtaining historic landmark designation at the local or national level can be a valuable tool to ensure the preservation of historically or architecturally significant buildings. The Kansas City Landmarks Commission relies upon the National Register Criteria to evaluate a property's architectural, historical or cultural significance. The local landmark designation process begins when a nomination application is filed. After the requisite documentation is compiled, a public hearing is scheduled before the Landmarks Commission. If the nomination is approved, two subsequent public hearings take place before the City Plan Commission and the Plans and Zoning Committee of City Council. Upon approval by City Council, an individual landmark or historic district is officially designated. Anyone can initiate the nomination of property to the Kansas City Register. Listing in the National Register can provide investment tax credits on the rehabilitation of income producing property. Information on the National Register of Historic Places and the investment Tax Credit Program is available from the Landmarks Commission. Technical assistance is provided to persons interested in undertaking rehabilitation projects.

The designation process begins with the nomination of a building, a grouping of buildings, or a neighborhood. Any property owner, neighborhood association or developer can initiate the nomination process. This plan recommends that this process remain as currently exists through the Landmarks Commission. **This plan does not designate historic landmark properties.**



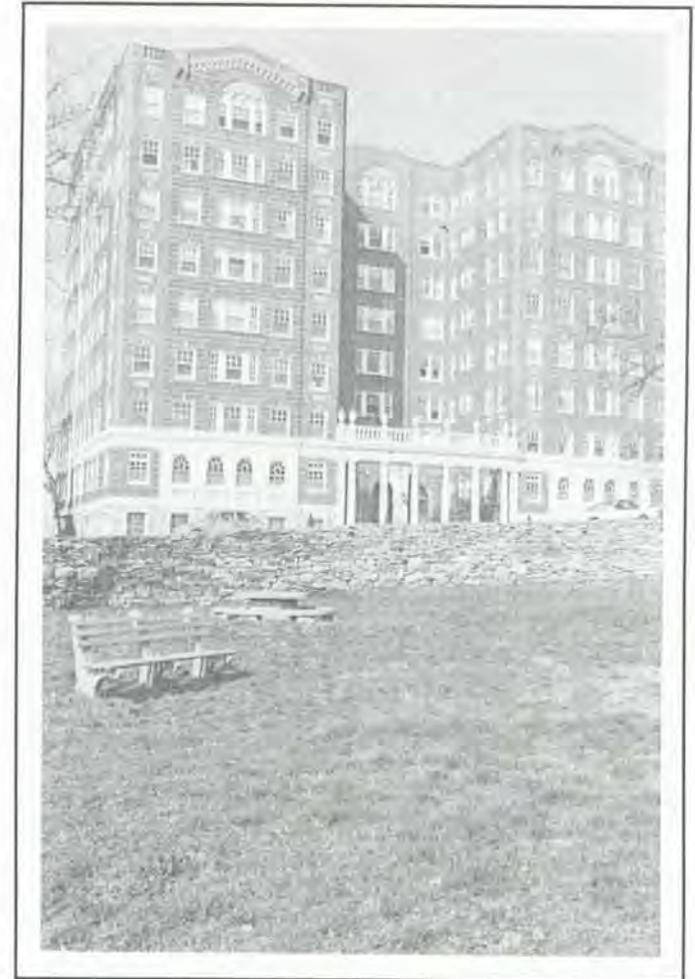
Historic Buildings and Districts

Needed Research

Summary and Conclusions

The Plaza area possesses a wealth of fine single-family homes, apartments and commercial buildings that were designed during the building boom of the 1910's and 1920's. With the annexation of land from 49th Street to 79th Street in 1901, residential construction activity focused on the southern reaches of the city. Prime residential subdivisions were planned by J.C. Nichols that incorporated amenities such as streetcar shelters, tennis courts, trees, shrubbery, small parks and carefully placed sculpture to enhance the new neighborhoods. In 1912, a brochure advertising the Country Club District noted that it was "the most distinctive and exclusive residential area in any city in the West". Reinforced with deed restrictions, regulated architectural design and formal homes associations, the Country Club district retains a great number of well designed residences and commercial buildings that merit research for historic landmark status.

However, not every building is eligible for listing as a local landmark. Other tools that are more appropriate for achieving neighborhood conservation, such as incorporating height, bulk, density and design restrictions into the zoning ordinance, should be explored to protect areas from more intensive development. The areas around the Nelson-Atkins Museum of Art, Loose Park, the Country Club Plaza, J.C. Nichols Parkway and Ward Parkway, exhibit visual qualities that are accented and enhanced by the natural landscape features and the amount of open space. These urban amenities should be preserved and development projects adjacent to these areas should be evaluated against the urban design guidelines and planning recommendations contained within this report.



Sophian Plaza Condominiums

9. Urban Design Guidelines

This plan recommends the use of urban design guidelines for future projects in the Plaza area. The guidelines are organized in three categories:

1. DESIGN GUIDELINES FOR THE PLAZA AREA.
2. DESIGN GUIDELINES FOR INFILL HOUSING.
3. DESIGN GUIDELINES FOR SPECIFIC AREAS.

The urban design guidelines listed in these categories are conceptual in nature. They relate to the conceptual and schematic design phase and should be considered during the initial planning stages of future projects.

This plan recommends that all projects in the Plaza area be submitted to the City Development Department to be reviewed for compliance with this plan. This includes all projects in the Plaza area that request:

1. rezoning, which includes and is not limited to a community unit project, a "PD" district, a limited district, and a plan amendment.
2. a subdivision plat,
3. tax abatement,
4. tax increment financing, and
5. an action from the Board of Zoning Adjustment.

If a project will not need to take any of the previously listed actions or just needs a building permit, then review by the City is encouraged to oversee the implementation of the urban design guidelines. This should occur as early as possible in the design process of projects. Consultation with the City Development Department staff would be available during the development process.

Please note that these are guidelines, not requirements, and each proposal will be evaluated on its own merits. Further, it is quite possible that a project could secure approval even though the proposal is not in compliance with the guidelines nor the zoning recommendations in this plan. For example, the Westport House, north of the Westport-Allen Center, did not comply with the Westport Plan. The design of the project overcame the objections to the greater building density and height. The strong design features were used to justify allowing the project, and many who previously had testified against the project now feel it is an asset to its neighborhood.



A Park-Like Setting

Urban Design Guidelines for the Entire Plaza Area

These urban design guidelines are appropriate for all development sites described in the Land Use Chapter of this report and all areas where redevelopment within the existing zoning category can occur. If redevelopment and/or rezoning are being considered for a site in the Plaza area, the City Development Department encourages the applicant to hold a pre-submission meeting with the staff prior to submitting an official application to the City Plan Commission. This meeting would be most beneficial if it were held 60 days in advance of the anticipated submission date. This is intended to benefit the applicant so that the applicant will be aware of the submission requirements, rezoning process, neighborhood and business groups, and initial staff reaction. This does not add time to the process; it should make the process work more efficiently. The City Development Department will then work with the applicant to prepare a set of urban design guidelines, based on the guidelines contained in this plan, for the redevelopment site within a reasonable time after the pre-submission meeting. The guidelines that will be considered in all reviews are listed under three categories:

Building Form and Placement **Open Space** **Parking**

Building Form and Placement

- When a commercially zoned project is located adjacent to the residential zones of R-1, R-2, R-3 or R-4, then new commercial construction should respect the existing building scale and character of the residential neighborhood. Generally, commercial development adjacent to residential zones should not exceed 45 feet.
- Buildings should be accessible to the pedestrian on all sides adjacent to a street. Direct access into the building from the public sidewalk should be provided.

- All new buildings along boulevards and parkways should locate habitable space at the street level, such as retail shops, offices or residential space. Off-street parking lots and parking garages on the street level along a boulevard or parkway are not desirable.

- The design of future buildings should maintain the building placement and architectural features of the adjacent existing buildings.

- Future buildings are encouraged to maintain the established existing street walls in both commercially and residentially zoned areas. Infill buildings should maintain the existing setback and should not vary greatly from the existing setback of adjacent buildings. Building placement should be similar to the surrounding building placement.

- The bulk and mass of future buildings should be minimized through the articulation of the building form, step backs from the building base, plane changes within the building elevations and well designed building facades.

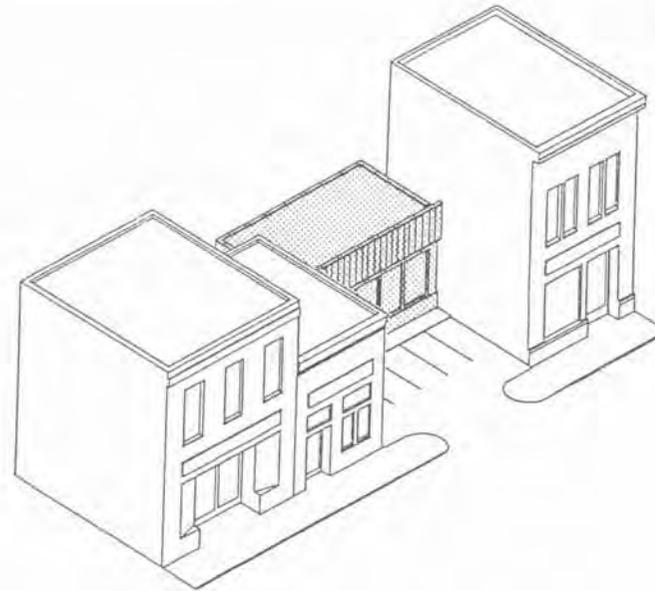
Inappropriate Infill Building

Scale--Avoid buildings that in height, width, or massing violate the existing scale of the area.

Height -- Avoid new construction that varies greatly in height.

Setback -- Avoid violating the existing setback pattern.

Massing -- Avoid monolithic forms.



Commercial Infill

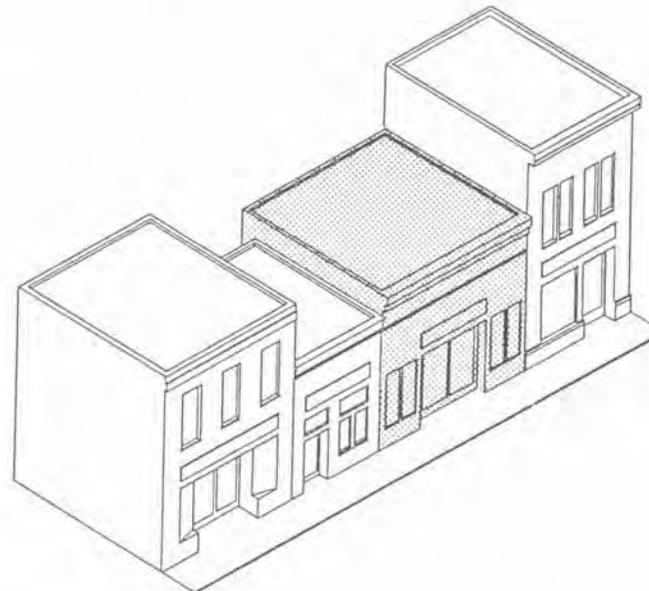
Appropriate Infill Building

Scale -- Relate size and proportions of new construction to adjacent buildings.

Height -- Relate overall height.

Rhythm -- Alternate wall areas with doors, windows and architectural features.

Sense of Entry -- Articulate main entrance to the building with pronounced architectural forms.



Urban Design Guidelines

Open Space

For areas where open space should be included, see the open space maps on page 57 and page 62. Note: there are cases within the Plaza area where minimal building setback and minimal open space are appropriate and desirable, such as in areas where the adjacent buildings are located at the front property line.

- Redevelopment and infill development projects are encouraged to consider providing a public plaza or greenspace within the project site.
- The use of sculpture and fountains is encouraged throughout the Plaza area.
- A public plaza is defined, for this study, as a hard surface area other than asphalt that is adequately landscaped and provides space for seating, such as benches and low seating walls.
- A greenspace is defined, for this study, as a landscaped area that includes some type of hard surface so that pedestrians may walk through the area; the area should provide space for seating.
- In areas where limited building heights do not allow for views to desired amenities such as the Country Club Plaza, pleasing inwardly oriented views such as toward interior courtyards should be pursued.
- The location, width and materials of all existing sidewalks should be maintained or improved when a building or a parking facility is constructed.
- A buffer zone between commercial and residential areas is required as per the Zoning Ordinance. A landscape screen such as a dense planting of evergreens, a shrub massing, or decorative fence should be included when these two land uses are adjacent to each other.

Parking

- Parking garages located above grade should respect the height of the buildings in adjacent commercial and residential neighborhoods, should make appropriate transitions in scale and should provide landscaped screenings, which include fast-growing trees, evergreen trees, shrubs, and other types of hedging.
- The exterior finishes to the parking structure should enhance the facade design and screen the parking area. Architectural treatments include the use of masonry materials that cover the structural portions of the facility that form the building edge and the use of ornamentation such as the treatments used on the parking garages in the Country Club Plaza.
- Existing or proposed surface parking lots should be improved. A landscape screen, raised planters or decorative low screen wall should be located along the street frontage of all surface parking lots. The pavement of the parking lot should be a well-maintained asphalt or concrete surface. For surface parking lots, shade trees should be provided and maintained in the parking area at the rate of at least one tree per 10 parking spaces.
- Entries to parking facilities should be located along major streets instead of residential streets.
- All future parking structures or parking lots should be located at the rear of the property or to the side of a new building. Off-street parking should not be located between the front building facade and the street.

Urban Design Guidelines for Infill Housing

The following guidelines should be used to guide the form of infill development on vacant lots, or to guide infill housing redevelopment within the existing residential zoning categories of R-1, R-2, R-3, and R-4. These guidelines are listed under four categories:

Building Form and Placement

Parking

Streetscape/Landscape

Signage

Building Form and Placement

- The bulk and form of new construction should be designed to provide appropriate transitions in scale to the adjacent residences. Abrupt changes in building height should be avoided. New residential building locations should relate to the placement of existing buildings, by observing front, back, and side yard setbacks.

- For new construction, the building footprint and parking lot area should not exceed 75% of the building site to allow for landscaping.

- New buildings should be oriented with the front building facade toward the street; building entries for the pedestrian should be located with direct access to the public sidewalk and street.

- Any new building should be placed on its site so that the front facade is located along the same setback line as the adjacent buildings along that street.

- New apartment buildings should incorporate the form and architectural design elements of the single-family residences that exist in the Plaza area. These elements include prominent front doors, residential window openings, chimneys, front porches and balconies. Hipped and gabled roofs are highly recommended.

- The use of residential building materials common to the Plaza area is also recommended. This includes materials such as stucco or brick, clapboard siding, doublehung windows with panes, and terra cotta details. The use of materials that are not complementary to the Plaza area or other non-urban materials is discouraged. These non-urban materials include but are not limited to the following: imitation masonry materials, mansard shingled roofs, metal panels, concrete panels or plywood siding.

Parking

- All parking facilities, especially surface parking lots, should be buffered from all surrounding streets, parks and boulevards. This buffer zone should consist of a landscaped area containing either raised planters or a low, decorative screen wall. Street trees should be added whenever possible.

- Parking facilities should be located at the back or side of an apartment building, a house or a lot.

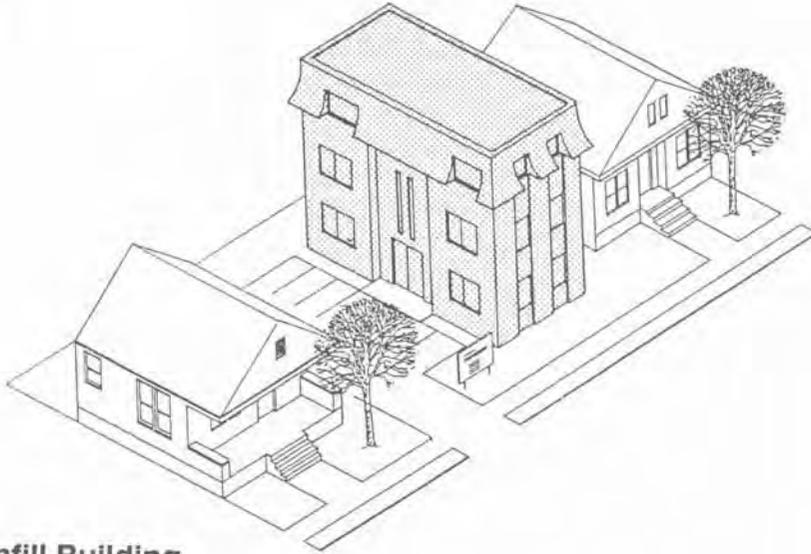
- Surface parking lots should not be located between the front facade of new buildings and existing streets.

- Curb cuts for new parking lots should be kept to a minimum. Curb cuts for new parking lots should not be within 75 feet of a street intersection.

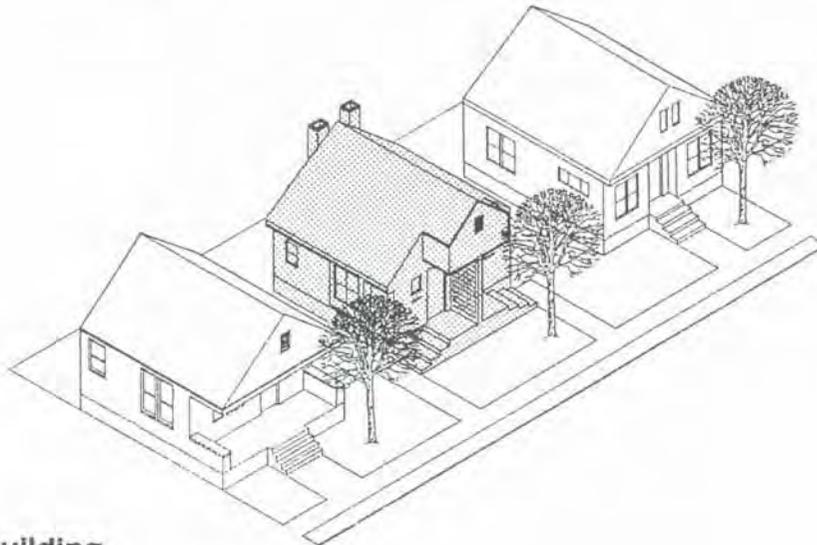
- Lighting should be provided for all parking facilities and sidewalks.

- Sidewalks should be provided from parking facilities to the existing street and to new buildings entries.

Infill Housing



Inappropriate Infill Building



Appropriate Infill Building

Streetscape/Landscape

- Residential areas should continue to be well landscaped with street trees as well as planting adjacent to new buildings.
- Sideyards should be adequately landscaped, especially when balconies are overlooking the sideyards.
- New sidewalks should be provided for all new development in order to provide adequate pedestrian circulation to nearby commercial activities and the Country Club Plaza.
- A buffer zone should be provided between residential development and commercial development as stated in the Zoning Ordinance. This buffer must be a solid wall and can be enhanced with landscaping.
- All utility lines, if not located underground, should be located along the rear yard or backyard if possible. Utility meters should not be located in the front yard attached to the front facade or building facade that parallels the street.

D. Signage

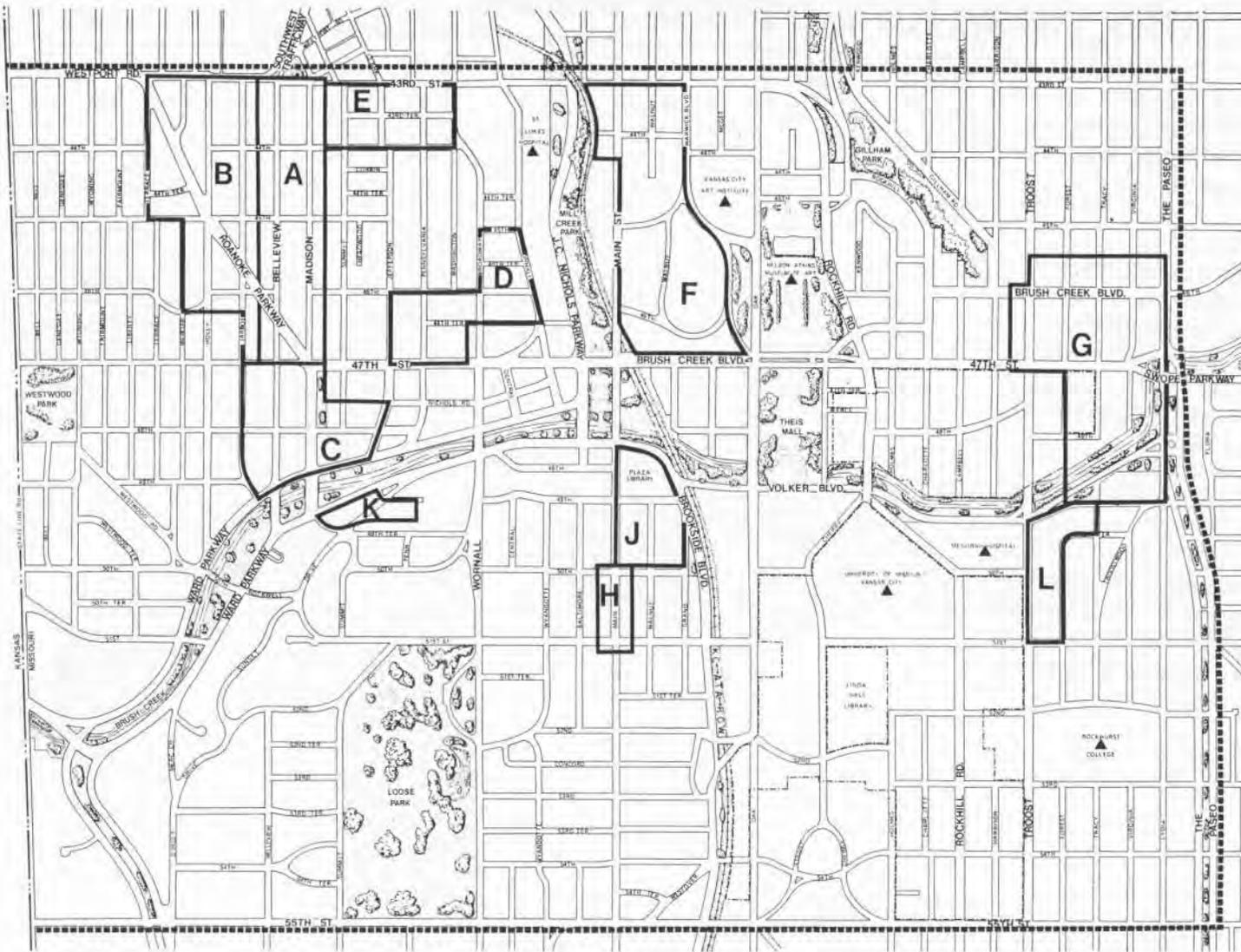
- Either a flush-mounted wall sign or a monument sign should be used to identify multifamily residential units. The flatwall sign should be located above the building entry and below the second story windows. The monument sign should not be out of scale to pedestrians. The maximum size of any sign should be 10 (ten) square feet.

Urban Design Guidelines for Specific Areas

Urban design guidelines have been developed for specific portions of the Plaza area where development may occur in the future. These guidelines are organized by the study area quadrants and are prepared for eleven areas:

- A. The Madison/Belleview Corridor,
- B. Roanoke Parkway, Westport Road to 46th Street,
- C. Ward Parkway to 47th Street, Jarboe to Jefferson,
- D. Jefferson to Wornall, 45th Street to 47th Street,
- E. Madison to Washington, 43rd Street to 44th Street,
- F. Main Street to Warwick, 43rd Street to 47th Street,
- G. Troost to Paseo, Brush Creek Boulevard to 49th Street,
- H. Main Street, 50th Street to 51st Street,
- J. Main to Brookside, Brush Creek to 50th Street,
- K. West of the Alameda Plaza Hotel along Ward Parkway,
- L. Troost to Forest, 49th to 51st Streets.

Applications for rezoning, particularly within these specific areas, should be either for a planned district, limited district or community unit project zoning classification. These applications should include the planning concepts and recommendations made in this document.



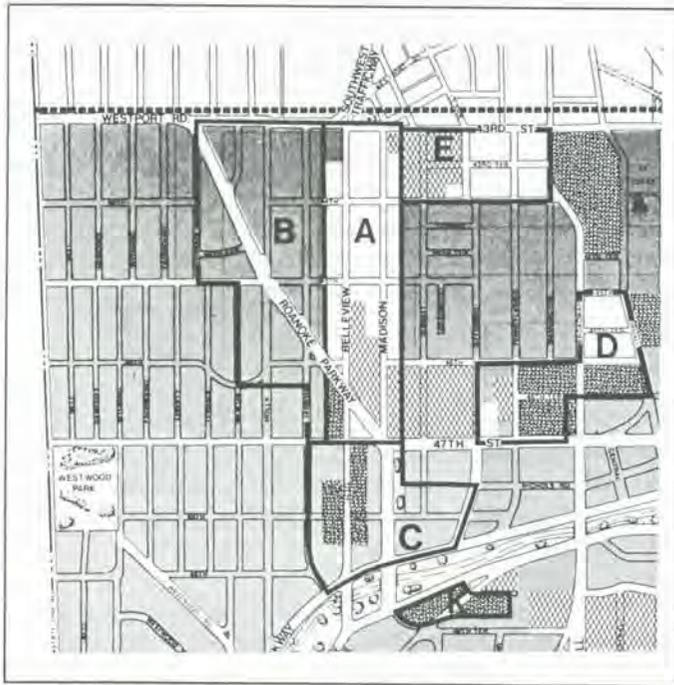
E Areas With Specific Guidelines



Urban Design Guidelines Areas

A. Madison/Belleview Corridor

Description of the Area: The Madison/Belleview Corridor between 43rd Street and 47th Street is a high-speed trafficway where the current land uses are commercial office buildings and residential houses. As stated in the Land Use Chapter of this report, this corridor could redevelop for future low to high-rise office and apartment uses. Redevelopment within this corridor has already begun with the Plaza West development between the traffic pair and the Boardwalk Condominiums at 43rd and Belleview. Because this corridor is located between two residential neighborhoods, the Plaza-Westport neighborhood to the east and the West Plaza neighborhood to the west, the form and scale of future development in this area is very important and should complement these neighborhoods. Therefore, the following guidelines have been developed.



Planning Recommendations: This area is currently zoned R-4-O, low-rise apartments and office buildings, which limits buildings to three stories or 45 feet in height.

- This plan recommends that this corridor is an appropriate area for future redevelopment for low-to-medium-rise office buildings and apartment uses. With the existing neighborhoods adjacent to this corridor, transitions in land uses from the existing single- and multifamily neighborhoods to larger office and residential buildings can cause problems of conflicting scale and character. Therefore, this plan recommends that the heights of future buildings should increase gradually from the one-to-three story residences to low-rise offices with the tallest buildings located in the block between Madison and Belleview.

- This plan recommends that projects on the east side of Madison and the west side of Belleview not exceed a floor area ratio of two (2). Buildings should not exceed five stories or 75 feet in height. The proposed zoning category of O-5 would be appropriate in these areas.

- This plan recommends that future redevelopment could be considered for the land area between Madison and Belleview of a density greater than the R-4-O category currently allows (floor area ratio--F.A.R.--of 1). For future redevelopment in this area, land use densities of the proposed C3a2-PLAZA and R5a zoning categories, as outlined in the Land Use Chapter, could be considered.

- Expansion of the retail establishments that are located in this corridor should not be allowed. Additional retail businesses should not be allowed in this area.

- At the northeast corner of 46th and Madison, a building height of 7 stories or 300 feet Kansas City Datum is an appropriate transition of building height from the 16-story towers adjacent to this location.

- The residential areas east and west of this corridor should not be rezoned to commercial uses. This will help limit commercial encroachment into the existing neighborhoods.

- Accessory parking for commercial development will be discouraged from locating in adjacent residential areas.

Madison/Belleview

- The Urban Design Guidelines for the Plaza Area listed in the first section of this Chapter are appropriate for this area.

Building Form and Placement

- Building height in the area between Madison and Belleview should be limited to 120 feet to minimize the scale differential of new building construction on the adjacent, low-scale residential neighborhoods.
- New buildings should be placed on their sites along Madison and Belleview in an urban fashion to maintain the existing streetwall. The minimum setback for new buildings should be 20 feet from the street right-of-way.
- Buildings heights along the east side of Madison and the west side of Belleview should be limited to 75 feet.
- If a proposed building height, located between Madison and Belleview, will exceed 45 feet, then the massing of the building should be designed in such a way to minimize the building bulk. One way to do this is to step the building facade back a minimum of 15 feet from a 45-foot-high building base.

Vehicular Access

- Deceleration lanes along Madison and Belleview may be required to enter a parking facility safely. These lanes should be able to stack a minimum of 4 cars.
- The entrances and exits for parking facilities are recommended along the east/west streets. These points of access to parking facilities should be located at least 100 feet from the intersections of Madison or Belleview.
- If curb cuts for access to parking facilities are needed on Madison or Belleview, then they must be carefully located and well designed not to impede pedestrian or vehicular circulation. These curb cuts will be carefully reviewed by the Transportation Department.

Streetscape

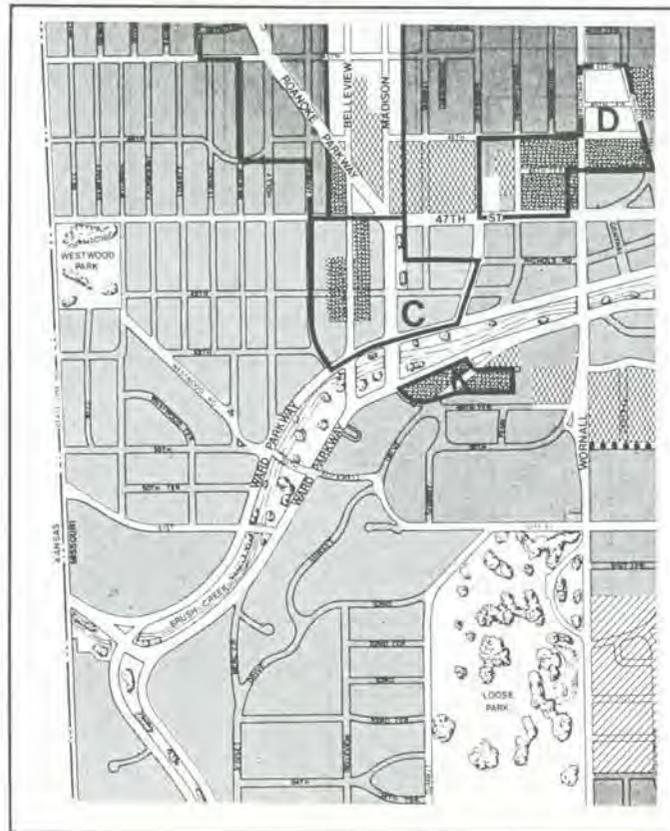
- Pedestrian connections within this corridor as well as connections to the Country Club Plaza and to Westport should be included in all future developments. These pedestrian connections should include a 6-foot-wide sidewalk separated from the curb with a 6-foot-wide planting strip containing street trees and lighting.
- Direct access should be provided from the public sidewalk to the main entry/lobby area of all future buildings.
- Urban open space will be encouraged in all redevelopment projects throughout this corridor. This open space should be located at building entries and interior courtyards.
- Overhead pedestrian crossings may be necessary to gain access to development on either side of Madison/Belleview. If these crossings are proposed, then they should be located at intersections that are not signalized. These crossings will be required to meet the height standards as established by the Transportation Department, have access on the sidewalk/street rights-of-way, and be as transparent as possible. These crossings do not have to be enclosed. If this type of crossing connects two buildings (or a parking facility), then the crossing must be accessible to handicapped persons.

Signage

- One monument sign will be allowed for each development along the corridor and should not exceed 30 square feet. The signage will be designed so that the graphics can be read by motorists along Madison and Belleview, but are not out of scale for passing pedestrians.
- Wall-mounted building signs should not be located above the second story of any building in this corridor; the sign should be flush-mounted and may not exceed 30 square feet.

C. Ward Parkway to 47th Street, Jarboe to Jefferson

Description of the Area: The area from Jarboe to Jefferson, bounded by 47th Street to the north and Ward Parkway to the south, is an area of predominantly three-to-eight-story apartment buildings. Some low-rise commercial office buildings currently exist along Bellevue between 47th and 48th Streets. Many of the apartment buildings in this area, especially those with brick and terra cotta details, were constructed during the early development of the Plaza area. These apartments have always separated the Plaza retail shops from the single-family neighborhoods to the west. The current zoning in this area is as follows: The high-rise apartment buildings adjacent to the Plaza shops are zoned R-5; the Madison/Bellevue Corridor is zoned R-4-O; and the area adjacent to Jarboe is zoned R-4, low apartments, and R-2, two-family dwellings.



Planning Recommendations: This plan recommends that the residential land use remain in this area and that residential densities not be increased, unless the zoning permits. This plan seeks to reinforce, strengthen and maintain the existing residential land uses and existing buildings in this area.

- Multifamily residential development should continue to be the principal land use for this area. The property maintenance code will continue to be strictly enforced.

- Commercial office development should not be allowed to expand along Bellevue in this area, nor into the residential neighborhoods. The areas along Bellevue that are zoned R-4-O are recommended to be used for residential development.

- Retail shops should be limited to 48th Street and parking areas should be provided with access from 48th Street, not from Bellevue.

- Redevelopment within the existing R-5 zoning requirements is possible and such developments should consider using the R-5a bulk recommendations. See the Neighborhood Chapter for a description of the proposed R5a zoning category.

Building Form and Placement

- The scale and bulk of future development west of Bellevue should respect the low-rise scale and design character of the existing houses in the West Plaza and Westwood neighborhoods. Building materials for new construction should reflect the materials used in the existing neighborhoods.

- Future buildings should be set back a minimum of 20 feet from the right-of-way. The urban character of the streetwall that exists within most of this area should be maintained at a location 20 feet from the right-of-way line.

- The Urban Design Guidelines for the Plaza Area listed in the first section of this Chapter are appropriate for this area.

- The Urban Design Guidelines for Infill Housing listed in the second section of this Chapter are appropriate for this area.

Vehicular Access

- Curb cuts to provide access to residential parking should be located along the east-west streets in this area.

- Vehicular access along Belleview and Roanoke Parkway is not encouraged.

Streetscape

- Pedestrian connections within this area and to the Country Club Plaza should be provided. This should include a 6-foot sidewalk separated from the curb with a 6-foot planting strip landscaped with street trees and lighting.

- Pedestrian access should be provided from the public sidewalk to the front of all buildings.

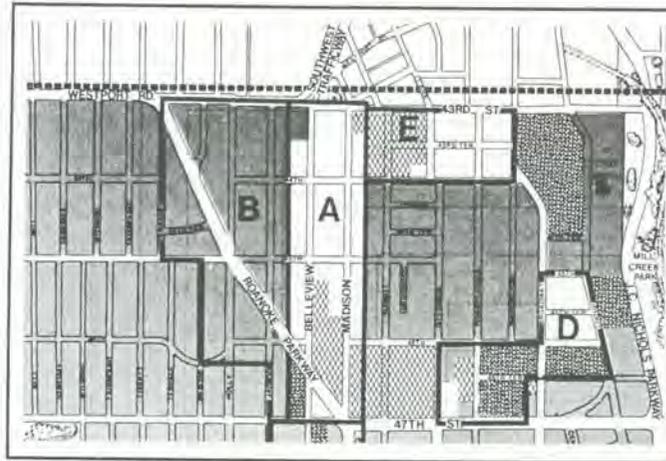
Signage

- Flush-mounted wall signs should be located above the main building entry, below the second story windows.

- Either a flatwall sign or a monument sign should be used to identify the multifamily residential development. The sign should not exceed 10 square feet.

D. Jefferson to Wornall, 45th Street to 47th Street

Description of the Area: The area from Jefferson to Wornall, 45th Street to 47th Street, is a 6-block area bordered by the Country Club Plaza to the south and east, by St. Luke's Hospital on the northeast, by the Plaza-Westport neighborhood to the northwest, and by the Plaza Steps redevelopment project on the west. Much of this area is zoned R-5, high-rise residential; the area adjacent to 47th Street is zoned C3a2, commercial buildings.



Planning Recommendations: This area is not developed to the potential building square footage allowed by the current zoning. This plan recommends that redevelopment occur in a comprehensive manner and utilize the urban design concepts presented in the Urban Design Chapter. Medical office facilities is the preferred land use between Broadway and Wornall, near the hospital. Residential land use is preferred along 46th Street. Retail and commercial offices are the preferred land uses along 47th Street.

- Future redevelopment in this area should not exceed the proposed density and bulk guidelines of the proposed C3a2-PLAZA and/or R-5a zoning categories, as outlined in the Land Use and Neighborhood Chapters respectively.

- Accessory parking for commercial development should not be located in adjacent residential areas.

- The Urban Design Guidelines for the Plaza Area, listed in the first section of this Chapter, are appropriate for this area.

Building Form and Placement

- If a proposed building height will exceed 45 feet, then the massing of the building should be designed in such a way to minimize the building bulk. One way to do this is to step the building facade back a minimum of 15 feet from a 45-foot-high building base.

Vehicular Access

- The entrances and exits for a parking facility in this area should be located in a manner that does not increase the traffic within the Plaza-Westport neighborhood.

Streetscape

- Pedestrian connections within this area as well as connections to the Country Club Plaza and to Westport should be provided in all future developments. These pedestrian connections include a 6-foot-wide sidewalk and a 6-foot-wide planting strip containing street trees and lighting.

- Urban open space will be encouraged in all redevelopment projects throughout this area. This open space should be located at building entries and interior courtyards.

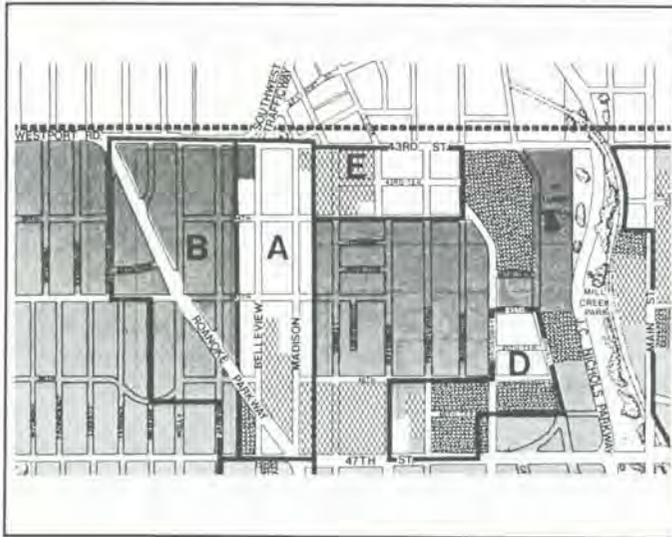
Signage

- One monument sign should be allowed for each development and should not exceed 30 square feet. The signage should be designed so that the graphics can be read by motorists but are not out of scale to the pedestrian.

- Wall-mounted building signs should not be located above the third story of any building in this area; the sign should be flush-mounted and should not exceed 30 square feet.

E. Madison to Washington, 43rd Street to 44th Street

Description of the Area: The area between Madison and Pennsylvania, 43rd Street and 44th Street is an area of single-family residences, low-rise apartment buildings, and vacant land. Along Madison Avenue commercial office buildings line the street. This area is bordered by the Plaza-Westport neighborhood and is zoned R-4, low-rise apartments.



Planning Recommendations: The Land Use Chapter identified this area as a potential redevelopment site. Residential land use is preferred in this area; this may include residential land uses that support the hospital.

- For future redevelopment in this area, the density and bulk guidelines of the proposed R-5a zoning category, as outlined in the Neighborhood Chapter, would be appropriate.
- Accessory parking for commercial development should not be located in the adjacent residential neighborhoods. This may require a zoning ordinance amendment.
- The Urban Design Guidelines for the Plaza Area, listed in the first section of this Chapter, are appropriate for this area.

Building Form and Placement

- If a proposed building height exceeds 45 feet, then the massing of the building should be designed in such a way to minimize the building bulk. One way to do this is to step the building facade back a minimum of 15 feet from a 45-foot-high building base.

Vehicular Access

- The locations of entrances and exits from parking facilities should be located in a manner that does not significantly increase traffic in the neighborhood.

Streetscape

- Pedestrian connections within this corridor as well as connections to the Country Club Plaza and to Westport should be provided in all future developments. These pedestrian connections should include a 6-foot-wide sidewalk and a 6-foot-wide planting strip containing street trees and lighting.
- Direct access should be provided from the public sidewalk to the main entry/lobby area of all future buildings.
- Urban open space will be encouraged in all redevelopment projects throughout this area. This open space should be located at building entries and interior courtyards.

Signage

- Wall-mounted building signs should not be located above the third story of any building in this area; the sign should be flush-mounted and should not exceed 30 square feet.
- One monument sign should be allowed for each development in this area and should not exceed 30 square feet. The signage should be designed so that the graphics can be read by motorists but are not out of scale to the pedestrian.

F. Main Street to Warwick Blvd., 43rd St. to Brush Creek Blvd.

Description of the Area: Land use is most intense along the two primary corridors in this quadrant, Main Street and Brush Creek Boulevard. Significant new developments, especially along Main Street, will set the land usage for years to come. Within the past 3 years, the 18-story hotel, the 12-story One Main Plaza Building and the 15-story Fountain View Building have all been constructed near the intersection of 45th Street and Main. Supportive commercial and office activity can be expected to move both north and south from this intersection along Main Street. Also closely associated with the Plaza area are the numerous apartment buildings along Brush Creek Boulevard from Main Street to Oak Street. These buildings range from 3-story garden apartments to 9-story high-rises and maintenance has generally been good. Most of the area south of 45th Street between Main Street and Southmoreland Park is zoned R5.

Planning Recommendations

- The block on the west side of Main Street between 43rd and 44th Streets could redevelop in the future for office or retail uses. The proposed C3a2-PLAZA zoning category could be applicable to this site.
- The residential areas surrounding the Kansas City Art Institute are part of the Southmoreland Historic District. Conservation and maintenance of the residential areas is recommended.
- The Urban Design Guidelines for the Plaza Area, listed in the first section of this Chapter, should apply to this area.
- The Urban Design Guidelines for Infill Housing, listed in the second section of this chapter, should apply to this area.

Building Form and Placement

- Building height along Main Street south of 45th Street should be limited to 100 feet to minimize the impact of redevelopment along Mill Creek Park and the entrance into

the Country Club Plaza.

- New buildings should be placed on this site along the property line to maintain the existing streetwall.

Vehicular Access

- The location of entrances and exits for parking facilities are recommended along the east/west streets.

Streetscape

- Pedestrian connections within this corridor as well as connections to the Country Club Plaza and to the Nelson Gallery--Theis Mall should be provided in all future developments.
- Urban open space will be encouraged in all redevelopment projects throughout this corridor. This open space could be located at building entries or within interior courtyards.
- The streetscape along Brush Creek Boulevard could be improved to encourage pedestrian usage with the use of:
 - wide, well maintained, lighted sidewalks,
 - barrier-free walkways for the handicapped,
 - street trees and landscaping,
 - benches and trash receptacles,
 - bus shelters.

Signage

- One monument sign for each commercial development along the corridor and should not exceed 30 square feet in area.
- Wall-mounted building signs should not be located above the second story of any building in this area; all signs should be flush mounted. For commercial uses the sign should not exceed 30 square feet; for residential uses the sign should not exceed 10 square feet.

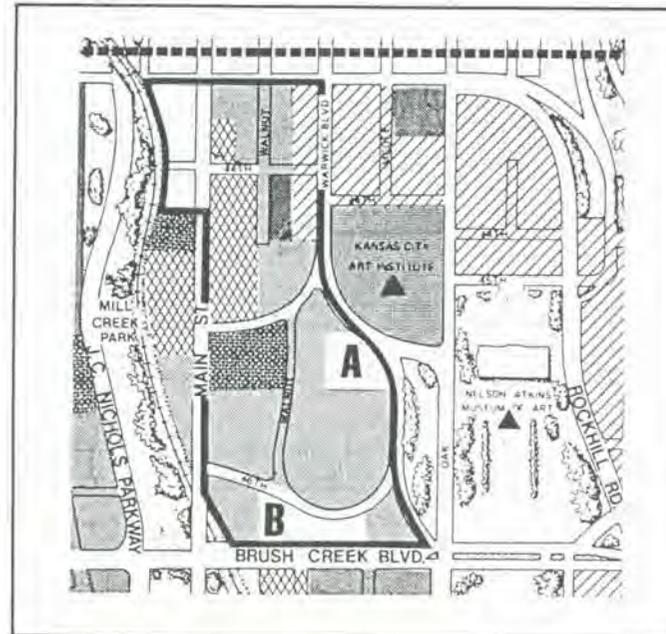
Planning Recommendations for Area "A"

- The area along Warwick Boulevard south of the church at 45th Street and north of the high rise condominium tower is currently zoned R2a. Redevelopment could occur within the existing residential zoning category. Residential land uses should remain along Warwick Boulevard.
- Residential redevelopment should not exceed the density of the adjacent residential areas. If a proposed redevelopment plan is for a high-rise tower, then the density should not exceed 48 units per acre. If the proposed redevelopment plan is for a low-scale (three-to-five-story) "campus-type" development, then the density should not exceed 60 units per acre.
- Residential building height along Warwick Boulevard, south of 45th Street should transition between the twelve-story residential tower on the south to the three-story development to the north or should not exceed 80 feet.
- The building foot print in the block between Walnut and Warwick Boulevard should not occupy more than 30% of the building site.
- A building setback of 30 feet or greater is desirable and recommended along Warwick Boulevard south of 45th Street.
- Open green space should be provided between the building(s) and Warwick Boulevard. This open green space should be at least 50% of the area between the building and the boulevard. Landscaping should include shrubs and trees.
- Sidewalks lined with trees and night lighting, and connecting the residential buildings along Warwick Boulevard to Southmoreland Park are encouraged.
- Parking garage facilities for residential buildings along Warwick Boulevard should be located at the rear yard or underground. These parking facilities should be screened, have similar architectural treatment to the building design, and be surrounded with trees and shrubs.

Planning Recommendations for Area "B"

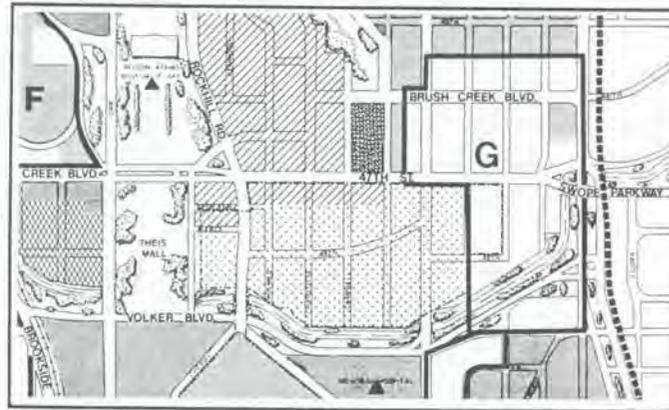
- The area between the office building at Brush Creek Boulevard and Main and the Sophian Plaza building at Warwick, and between 46th Street and Brush Creek Boulevard is a redevelopment site. Redevelopment at this location should work to connect the Nelson-Atkins Museum of Art to the Country Club Plaza and complement the Brush Creek (Sailors') Redevelopment directly to the south.
- The building heights for this site should provide transition from the five story office building on the west and the nine story Sophian Plaza building on the east. The building(s) height should not exceed the height limit of the R-5 zoning category.
- The parking facility should be located within the development or underground. The street level of the building(s) along Brush Creek Boulevard should provide active uses for the pedestrian.

Main to Warwick Blvd., 43rd to Brush Creek Blvd.



G. Troost to Paseo, Brush Creek Blvd. (46th St.) to Brush Creek

Description of the Area: Troost to Paseo, Brush Creek Boulevard to Brush Creek is an area for potential redevelopment. This area is planned to have improved transportation facilities and easy access to the regional highway network when the Bruce Watkins Memorial Drive is completed. The anticipation of the Brush Creek Boulevard-47th Street realignment and the Swope Parkway and Volker Boulevard realignment is a tremendous asset to this study area. In addition, landscaping improvements to Brush Creek will enhance the area aesthetically. Most of the area is commercially zoned along the major streets while the interior streets are zoned for three story apartment buildings. This area is on the east side of the UMKC North Campus area, an area of tremendous change and growth.



Planning Recommendations: Although some of this study area is currently zoned for intermediate-business commercial land use, this plan recommends that the bulk and density guidelines of the proposed C3a2-PLAZA and/or the R-5a zoning categories be used in this area.

- Transition in land uses from the existing, low-rise single-family neighborhoods, Manheim Park and Hyde Park, to the north is critical if redevelopment occurs in this area.
- The Urban Design Guidelines for the Plaza Area, listed in the first section of this Chapter, are appropriate for this area.

Building Form and Placement

- If a proposed building height will exceed 45 feet, then the massing of the building should be designed in such a way to minimize the building bulk. One way to do this is to step the building facade back a minimum of 15 feet from a 45-foot-high building base.
- New buildings should include but are not limited to retail shops, restaurants, or services at the street level, with access provided directly to the public sidewalk. Major building entries should face Brush Creek Boulevard and 47th Street.
- Direct access should be provided from the public sidewalk to the main entry/lobby area of all future buildings.

Streetscape

- Pedestrian connections within this area as well as to the UMKC North Campus project and the Brush Creek redesign should be provided in all future redevelopment. These pedestrian connections should include a 6-foot-wide sidewalk separated from the curb with a 6-foot-wide planting strip containing street trees and lighting.
 - Sidewalk lights with a pedestrian scale and character would contribute to the aesthetic qualities in the area, as well as improve nighttime safety. Further study by the City Development Department should be done to select an appropriate light and proper spacing. If this lighting is installed, maintenance agreements are needed between the property owners and the City.
 - Urban open space will be encouraged in all redevelopment projects throughout this area. This open space should be located at building entries and interior courtyards.
- ## Signage
- The signage guidelines as listed in the "Main Street, 49th Street to 51st Street" section are appropriate for this area.

H. Main Street from 50th to 51st Streets

Description of the Area: This area is the existing Main Street commercial district, which is located from approximately 50th Street to 51st Terrace on both sides of Main Street.



Planning Recommendations

- This plan recommends that this area should be maintained and strengthened as a neighborhood commercial area and the existing zoning of C-2, neighborhood and local retail business, should not change. This area fulfills a very important function within the neighborhood by providing retail and entertainment services for the surrounding residential areas. As the Plaza area continues to grow and develop, the need for neighborhood commercial facilities located in close proximity to the Plaza area will continue to be very important.
- Pedestrian amenities and streetscape improvements should be added to improve the aesthetic and functional street environment within this active, viable neighborhood retail area.
- The boundaries of the C-2 area should not be expanded to the east or the west into the existing residential areas. Adjacent residential property should not be rezoned for commercial uses.
- Accessory parking for commercial uses should not be located on adjacent properties, which are currently zoned for residential use, R-2, R-3 or R-4. This will require a zoning amendment.
- The Urban Design Guidelines for the Plaza Area, listed in the first section of this Chapter, are appropriate for this area.

Main Street from 50th to 51st Streets

The following design guidelines are intended to address improvements to the pedestrian amenities, the streetscape and signage within the existing C-2 zoning category.

Streetscape

- The existing sidewalk width of 8 feet provides adequate space for pedestrians but is a narrow space to use for street trees and street furniture. Therefore, the following guidelines recommend other elements to use in order to improve the pedestrian environment.
- Sidewalk lights with a pedestrian scale and character would contribute to the aesthetic qualities in the area, as well as improve night-time safety. Further study by the City Development Department should be done to select an appropriate light and proper spacing. If this lighting is installed, maintenance agreements are needed between the property owners and the City.
- Fabric awnings or canopies attached to the front facade, of the existing buildings are encouraged, in order to shade the sidewalk and add visual continuity to the buildings. Canopies or awnings should be at least 8 feet above the sidewalk grade.
- Banners or hanging flower baskets, attached to the existing street light poles and the utility poles, are encouraged in order to add color and special character to the area.
- The existing surface parking lots should be improved. A landscape screen, raised planters or decorative low screen wall should be added to the street frontage of all surface parking lots. The pavement of the parking lot should be a well maintained asphalt or concrete surface.
- The buffer zone between the commercial and residential areas should be improved. A landscape screen or decorative fence should be required when these two land uses are adjacent to each other.

Building Form and Placement

The following guidelines apply to redevelopment or new infill buildings that may occur in this area under the existing C-2 zoning category.

- Height, setback and parking requirements of the zoning ordinance will be adhered to; variances will not be encouraged.
- New buildings should maintain the image and character of the existing streetwall along Main Street. New buildings along the east side of Main Street should locate the front facade with the same setback as the historic brick building at 5031 Main. New buildings along the west side of Main Street should match the existing setback line.
- New buildings should include retail shops, restaurants or services at the street level, with access provided directly to the public sidewalk. Major building entries should face Main Street.
- The design of infill or new buildings should relate to the scale and character of the existing shops and buildings. Recommended building materials would include dark-colored brick, stucco, clear glass and wood. Inappropriate building materials would include imitation rock or masonry, corrugated metal or fiberglass, reflective glass, imitation wood or plywood siding.
- Storefront display windows should be incorporated into the design of the buildings along Main Street.
- The space between the front facade of new buildings and the street should be maintained as public sidewalk. Outdoor cafes or street vendors should not interrupt this space, unless a larger setback from the street is provided for those uses.

Vehicular Access

- Parking should be located at the rear of the property or to the side of a new building. Parking should not be located in the front of a new building.
- Parking lots should be screened from Main Street and from the adjacent residential areas with low walls, planters or a landscape screen.
- Driveways or curb cuts onto Main Street are recommended at the rate of 1 per infill building or one per 75 linear feet of frontage whichever is less.

Signage

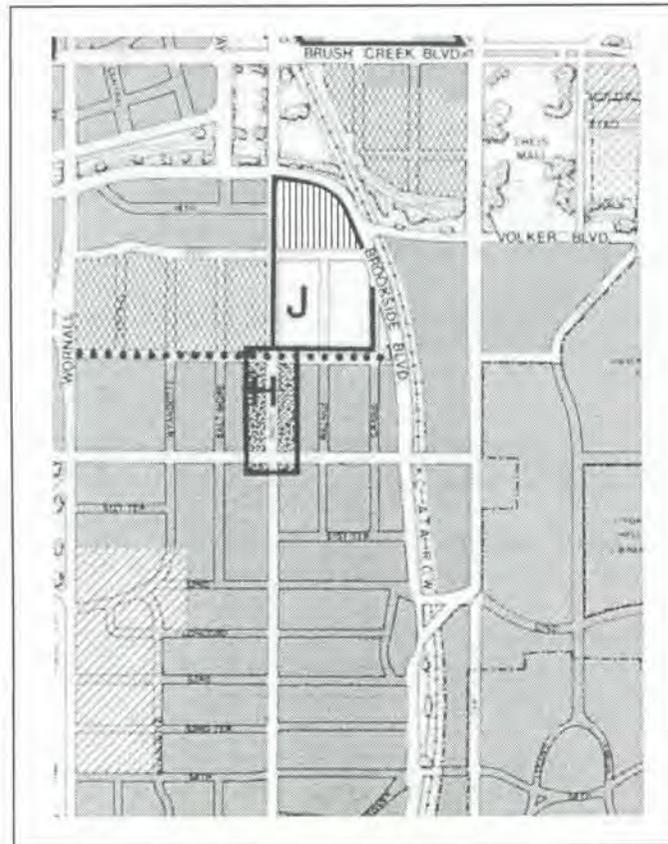
The following guidelines for signage are intended to improve the visual continuity in this area, through uniformity in the size and placement of signs. The guidelines do not intend to restrict uniqueness or to impair the function of signage to clearly identify the location and the nature of a business.

- One sign per business is appropriate except for corner buildings, which may have one sign on each facade.
- Flatwall signs, attached to the front building facade, are appropriate for this area. The maximum sign area should be 24 square feet. The sign should be attached to the front of the building at a height to be read by both pedestrians and passing cars. The size and placement of the sign should consider the architectural design of the facade. The sign should complement not obliterate the facade of the building.
- Signage applied onto a canopy or awning is encouraged, as are signs painted or attached directly onto a storefront window.
- Billboards of any type or mounted in any location within this area are not recommended.
- Flashing, blinking or moving signs are not recommended.
- Illuminated signs will be allowed. External lighting applied to a sign face, internally lit signs and neon signs will be accepted.
- Sandwich board signs which are movable and which sit upon the sidewalk are not appropriate.

Main Street from 50th to 51st Streets

J. Main Street to Brookside Blvd., Brush Creek to 50th Street

Description of the Area: This area is defined as the three city blocks from Main Street to Brookside Boulevard, Brush Creek to 50th Street. This area includes the site containing the Plaza Library and blocks south of the Library containing commercial and residential buildings. These blocks are currently zoned for medium- to high-density residential development, except for the area along Main Street which is zoned for commercial high buildings. The Plaza Library site is zoned R5, high apartments, and the blocks south of it are zoned R4, low apartments. The portion of this block fronting onto Main Street is zoned C3a2 commercial high buildings.



Planning Recommendations

- The city blocks south of the Plaza Library, from 49th Street to 50th Street, could potentially redevelop in the future. The recommended future land uses include medium- to high-density residential development for the majority of the area, with the addition of retail and office uses along Main Street.
- The block southeast of the Library, between Walnut and Brookside Boulevard, currently zoned R4, could be considered for rezoning to the R5a zoning category as proposed in the Neighborhood Chapter. Rezoning to a commercial category is not recommended.
- The block south of the Library, between Main and Walnut, is zoned for commercial uses and low-rise residential buildings. The recommended future land uses, include medium- to high-density residential development, retail and office uses. Rezoning within this block could be considered to the proposed C3a2-PLAZA or R5a categories. Note: A significant portion of this block is currently zoned C3a2.
- Redevelopment in this study area should be designed as a comprehensive, planned development.
- Walnut Street could be vacated between 49th and 50th Street in order to allow a large-scale unified development of both of these city blocks.
- If redevelopment is proposed in the future on the site of the Plaza Library, the Plaza Library should be incorporated into the proposed redesign of this site. If redeveloped, the site should be for residential uses (currently zoned R5) and *limited commercial development*. Appropriate provisions should be made for the Library, including good visibility, adequate building square footage and adequate parking. (As amended by Resolution #000613)

Building Form and Placement

- The form of new buildings should relate to the scale of the existing buildings in the area. The building base height of new buildings along Main Street should be approximately 35 feet to 50 feet. Additional building height should be stepped back from the building base.
- Any new tall buildings should be located near the center of these city blocks and stepping down in height toward the lower-scaled residential areas to the south. Buildings along 50th Street should be a maximum of 50 feet in height in order to relate to the small-scale residential areas south of 50th Street.
- The scale, character, and materials of all new buildings on this site should relate to the existing high-rise buildings in the Plaza area.

Street-Level Development

- In the area along Main Street retail shops, restaurants or services should be located at the street level, and should have direct access to the public sidewalk along Main Street.
- The height of new buildings at the street level along Main Street should be 35 feet to 50 feet and should locate the front facade of new buildings at the existing setback line, in order to maintain the existing streetwall.
- If a proposed building height will exceed 45 feet, then the massing of the building should be designed in such a way to minimize the building bulk. One way to do this is to step the building facade back a minimum of 15 feet from a 45-foot-high building base.
- Major building entries should be oriented toward Main Street, 49th Street or Brookside Boulevard.

Vehicular Access

- The same guidelines as in the Main Street commercial area, on page 87, are appropriate for this area..
- Below-grade parking is encouraged on these sites and would work well with the existing topography. Large, surface parking lots are not recommended for use in this area.
- Major vehicular entries to parking structures should be located along 49th Street and Grand Avenue.

Streetscape

- The pedestrian environment along Main Street and into the Plaza area should be maintained and improved with wide sidewalks, landscaping and signalized pedestrian crossings into the Country Club Plaza area.
- The streetscape guidelines developed for the Main Street commercial area, on page 86, should also be implemented in this area.

Signage

- Signs for retail businesses should follow the guidelines established for the Main Street commercial area, page 87.
- Office or residential signage should be easily apparent but not visually disruptive. Wall mounted or monument signs are recommended.

K. West of the Alameda Plaza Hotel along Ward Parkway

Description of the Area: This area is located west of the Alameda Plaza Hotel, along Ward Parkway and 49th Street. The area encompasses 10 parcels of land which are zoned R-2a, Two-family duplexes.



Planning Recommendations: While this plan recommends that no rezoning take place in this 10-parcel area, we recognize that redevelopment to a slightly higher density could occur while maintaining the existing zoning. Thus, we have developed the following guidelines to guide and regulate such future redevelopment.

- No zoning changes should take place west of Wornall Road and south of Ward Parkway. The majority of the land within this area is composed of stable, well-maintained single-family neighborhoods, and is zoned R-1, single-family residential.
- A limited area located west of the Alameda Plaza Hotel, along Ward Parkway, is zoned R-2a. The following guidelines have been developed for that R-2a area.
- With a zoning classification of R-2, the only allowable land use is residential, single-family or 2-family dwellings, with a minimum lot area of 5,000 square feet per unit.

Building Form and Placement

- Building heights, as allowed by the zoning ordinance for an R-2 district, are 2 1/2 stories or 35 feet maximum.
- The front, back and sideyard setback requirements of the Zoning Ordinance should be adhered to in order to guide building placement on these sites. Setback variances should not be considered.
- Buildings should be oriented so the fronts of the buildings face Ward Parkway. Front doors or main building entries should be located to face toward Ward Parkway.
- The size and shape of new residential units should be designed to relate to the scale and character of the adjacent single-family residences. New units should include design elements of varying roof lines, front porches, and a 2-story character.
- New buildings should be designed with materials, colors and an architectural style appropriate to the Plaza area.

Vehicular Access

- The volume and speed of existing traffic along Ward Parkway are key concerns in the redevelopment of these sites. Because of the high volume and high speed of traffic, vehicular access to these sites should be considered from Sunset Drive and Summit Street, which are located to the south and west of these sites.
- Curb cuts or driveways along Ward Parkway should be limited to one point of access and it should be located toward the eastern end of the site.
- A semi-circular drop-off road on this site should be considered.

Parking

- Parking should be provided at the ratio of 2 spaces per dwelling unit.

- Parking should be located for efficiency of circulation and should not be visible from Ward Parkway. Parking located at the rear of the residences is the most desirable.

Pedestrian Circulation

- Sidewalks should be provided, parallel to all streets surrounding the site, in order to link these sites to the rest of the Country Club Plaza area.

- Sidewalks along Ward Parkway should be placed a minimum of 6 feet from the back of the curb, with street trees planted between the curb and sidewalk.

Landscape

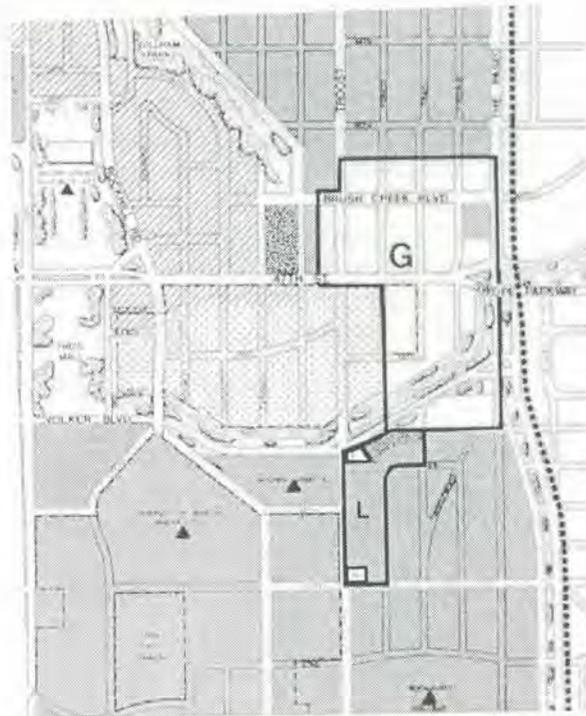
- Street trees along Ward Parkway should be installed as per the Park Department's plans for Ward Parkway.

- The front yards should be designed with grass, trees and shrubs to help the new development blend with the existing residential area.

**West of the Hotel along
Ward Parkway**

L. Troost to Forest, 49th to 51st Streets

Description of the Area: This planning area is east of the UMKC and the Stowers Institute for Medical Research campuses, and one block north of the Rockhurst College Campus. This area is also part of the Troostwood Neighborhood, which is a part of the 49/63 Neighborhood Coalition. Most of the east side of Troost Avenue within this area is zoned URD, Urban redevelopment district, and has been redeveloped with townhomes. Two lots on Troost Avenue within the planning area retain commercial zoning. The lot at the southeast corner of Troost Avenue recently redeveloped as a park is zoned C-1, Neighborhood retail business district. The lot at the northeast corner of 51st Street and Troost Avenue is zoned C-2, Local retail business district.



Planning Recommendations

- The Troostwood area, located on a bluff just south of Brush Creek overlooking and adjoining major redevelopment projects including Plaza East, the Kauffman Foundation headquarters, the Missouri Department of Conservation offices, and the Stowers Institute for Medical Research, can provide an excellent housing resource for surrounding offices and institutions. Since major housing improvements and infill have already occurred in this area, the only remaining redevelopment areas are on the south side of 49th Street from Troost Avenue to Tracy, and the north^{East} corner of 51st Street and Troost Avenue. All remaining areas are appropriate for housing, low-density housing along the south side of 49th Street and Medium Density Residential at the north^{West} corner of 51st Street and Troost Avenue. The southeast corner of 49th Street and Troost Avenue is appropriate to continue as park and open space and could also be rezoned to a residential use. This would not be necessary if it becomes permanent park land.

Design Guidelines

- Future development in Planning Area L should follow the "Urban Design Guidelines for the Entire Plaza Area, pp. 68-70, and "Urban Design Guidelines for Infill Housing" pp.71 and 72.

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as result of amendments
resulting from
Resolution #991200

10. Implementation

Process

The process for the implementation of this plan will involve the following:

1. The discussion draft of the plan was distributed to all of the neighborhood groups, business organizations, institutions, and interested citizens in the study area in November, 1987.

2. Ample time for all interest groups to review and comment on the plan was allowed.

3. All of the comments expressed at the public meetings and submitted to the City Development Department have been considered in the revised draft.

4. The revised draft of the plan was submitted to the City Plan Commission and public hearings were held on February 1, 1988, and March 1, 1988.

5. The City Plan Commission made a recommendation about the plan to the City Council on March 1, 1988.

6. The City Council began the public hearing process about the plan in November, 1988.

Upon adoption of the plan by the City Council, it will then become an official plan of the City Plan Commission and the City Development Department.

Throughout the preparation of this plan, the staff of the City Development Department has utilized the ideas presented in this plan to review proposed projects within the study area. With the adoption of this plan, the planning recommendations set forth within the plan will continue to be used to review all future projects in the Plaza area.

This plan recommends that all projects in the Plaza area be submitted to the City Development Department to be reviewed for compliance with this plan. This includes all projects

in the Plaza area that request:

1. a rezoning,
2. a subdivision plat,
3. tax abatement,
4. tax increment financing, and
5. an action from the Board of Zoning Adjustment.

Projects that are not currently reviewed by the City Development Department and that need only a building permit should be submitted to the City Development Department prior to requesting a building permit. This should be done in order to verify compliance with the planning recommendations and design guidelines of this plan. This review with the City Development Department should occur as early in the design process as possible, preferably during the conceptual design phase.

If redevelopment and/or rezoning are being requested for sites identified in the Land Use chapter of this plan, the City Development Department is requesting a pre-submission meeting prior to the submission of an application to the City Plan Commission.

Upon adoption of the plan by the City Plan Commission and City Council, the following actions by these two entities will be needed to implement this plan:

1. Approval by the City Plan Commission and adoption by the City Council of the new zoning categories in this plan. These include: the Neighborhood Planning District, R1bb, R5, C3a2-PLAZA and O5 zoning districts.

2. Financing for selected public improvements as follows:

a. Transportation improvements: these should be funded with developer contributions and revenue from the City's sales tax.

b. Landscape improvements to Brush Creek Park: this should be funded by the City's capital improvements bond package.

c. Brush Creek Flood Control Improvements: these will be funded jointly by Federal (75%) and City agencies (25%). City funding should come from the capital improvements bond package.

d. Water and sewer improvements as needed for future developments: these will be funded by private developers.

3. Approval by the City Plan Commission and adoption by the City Council of the up-dated Major Street Plan.

4. Application of Major Street Plan criteria to proposed development projects in terms of right-of-way dedication.

The private sector is actively involved in development in the Plaza area. Some of the development in the recent past has taken place with governmental assistance through the Chapter 353 program of tax abatement, through the Chapter 99 (Urban Renewal) program of tax abatement, and through the Tax Increment Financing program. Overall, the City's policy has been to decrease the use of Chapter 353 and require significant payments-in-lieu-of-taxes for 353 projects; to offer no tax abatement for new office space and some abatement for residential units; and to encourage the use of Tax Increment Financing.

Actions

Public Sector

The public sector is also involved in the Plaza area in additional ways. Public improvement policies for the Plaza area relate to needed transportation improvements, flood control and landscape improvements to Brush Creek, and water and sewer improvements. These policies should be prioritized as follows:

1. The City policy of applying transportation impact fees to developments in the Plaza area on the basis of traffic generated by the developments will be continued.
2. Transportation improvements will be phased so as to keep pace with development and construction in the Plaza area Swope/Volker connection
 - Main/Brookside connection
 - Improving/widening 43rd Street
 - Upgrading 45th street to a Boulevard and demapping discontinuous elements of Brush Creek Boulevard.
 - Swope/Volker connection
 - Widening of Volker Boulevard
 - Ward Parkway one-way pair
 - Moving the Country Club Right-of-Way to the west of the 47th and Main Intersection.
 - Transportation Study--Madison/Belleview Corridor.
3. The Major Street Plan should be revised to include the recommendations of this plan.
4. The Board of Parks and Recreation Commissioners' plan for landscape improvements to Brush Creek should be implemented at the same time the Corps of Engineers improves flood control on the creek.

5. The City Development staff, with input from other appropriate departments, should amend the sign ordinance.

6. The City should allocate additional funds for code enforcement.

7. The City Development Department will need to develop apartment rehabilitation and renovation incentives for architecturally significant groupings of characteristic older apartment buildings.

It is the City's intention that this plan and its implementation will result in the continuation of the Country Club Plaza and the residential areas surrounding it as one of the primary attractions of Kansas City and as an example of quality growth and development.

Appendices

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Development Projects Summary 1982-1988

Map No.	Project Name	Location	Developer	Project, Type/Size	Project Status
1	The Boardwalk	43rd and Belleview	Hartman/Tiehen	15 condominium units, 27,135 SF., 31 parking spaces.	Completed, 1986
2	Miller & Bash Office Building	4310 Madison	Miller-Bash Development Company	3-story office building, 15,000 SF., 30 parking spaces.	Completed, 1985
3	Penn West	43rd and Summit	Lincoln Property Company	5-story residential buildings, 396 apartment units, 600 parking spaces.	Approved, 1988
4	Bishop Spencer Place	43rd and Washington	Medical Plaza Partnership	154 units, elderly highrise.	Proposed
5	St. Luke's parking garage	45th and Wornall	St. Luke's Hospital	Parking garage, 586 parking spaces.	Completed, 1985
6	Office Building	46th and Roanoke Pkwy.	Calcara Duffendack Foss and Manlove, Inc.	2-story office building, 27,000 SF., 100 parking spaces.	Approved 1988
7	Plaza West	46th and Madison	J.C. Nichols Company	Phase 1: 16-story office building, 282,000 SF., 805 parking spaces. Phase 2: 7-story office building, 212,000 SF., 685 parking spaces. Phase 2A: Planned open space.	Completed, 1986 Approved, 1984
8	Campbell, Morgan & Gibson Offices	45th and Madison	Morgan & Gibson Partners	Office Building, 15,000 SF., 34 parking spaces.	Completed, 1985
9	Health Club and Office Building	46th and Madison	Real Equity Partners Company	5-story office building, 63,504 SF., 2-story health club, 49,964 SF., 300 parking spaces.	Approved, 1988

Map No.	Project Name	Location	Developer	Project, Type/Size	Project Status
10	Madison Plaza	47th and Madison	Real Equity Partners Co.	Phase 1: 19-story, 252-room hotel, 185,000 SF. Phase 2: 8-story office & health club, 80,000 SF. Phase 3: 16-story office & retail, 294,000 SF. Total Parking: 1,437 spaces.	Approved, 1987
11	Steps of the Plaza	47th and Jefferson	Plaza Steppes Redev. Corp. (Block & Co.)	Phase 1: 17-story, 270-room hotel, 187,000 SF. Phase 2: 13-story office building, 300,000 SF., 3-story retail mall and health club, 138,000 SF. Phase 3: 22-story residential tower, 270,000 SF., 175 dwelling units. Total Development: 893,000 SF., 3.78 F.A.R., 1,446 parking spaces.	Approved March 3, 1988 (Ordinance No. 62038)
12	Kansas City Hotel	46th Terr. and Pennsylvania	Pennsylvania Properties	14-story, 250-room hotel, 194,648 SF., 280 parking spaces.	Approved, 1988
13	612 Plaza Building	612 West 47th Street	Weltner Equities, Inc.	Retail conversion: 44,500 SF. Office renovation: 28,500 SF.	Under Renovation, 1989
14	Townsend Place	46th Terr. and Broadway	Price Brothers Realty	12-story residential tower, 175,000 SF. 46 condominium units, 92 parking spaces.	Under Construction, 1988-89
15	The Neptune Apartments	333 W. 46th Terr.	J.C. Nichols Company	6-story residential, 96 apartment units, 89,000 SF., no new parking.	Completed, 1988
16	Mill Creek Block (Figlio)	46th and J.C. Nichols Pkwy.	J.C. Nichols Company	2-story retail building, 14,500 SF.	Completed, 1986
17	Belletower	4700 Belleview	West Terrace Trust-W.C. Haas	4-story office building, 74,000 SF., 215 parking spaces.	Completed, 1986

Map No.	Project Name	Location	Developer	Project, Type/Size	Project Status
18	Plaza View Office	48th and Belleview	Santa Fe Investment Michael's Construction Company	Office building, 33,646 SF., 40 parking spaces.	Completed, 1985
19	Park Plaza Building	47th and Roanoke Pkwy.	J.C. Nichols Company	5-story office building, 71,700 SF., 312 parking spaces.	Completed, 1983
20	Parkway 600 Grill	600 Ward Pkwy.	J.C. Nichols Company	1-story restaurant, 7,000 SF.	Completed, 1987
21	433 Ward Parkway	433 Ward Pkwy.	Saul Ellis and Company	7-story residential building, 112,391 SF., 26 condominium units, 52 parking spaces, 14 surface parking spaces.	Completed, 1988
22	Alameda Towers (condominiums)	49th Terr. and Wornall Road	J.C. Nichols Company	Phase 1: 19-story, 58-unit residential tower. Phase 2: 19-story, 58-unit residential tower. Total Development: 228,000 SF., 232 garage parking spaces and 65 surface parking spaces.	Under Construction Proposed
23	Kirkwood Circle	50th and Wornall Road	J.C. Nichols Company Saul Ellis and Company	7 residential towers, 13 to 18 stories each. Phase 1: 450 residential units. Phase 2: 200 residential units towers. Total Development: 1,200,000 SF., 1.5 parking spaces per unit, undefined number of spaces for visitors.	Approved, still under negotiation
24	Board of Trade Center	49th and Main	Board of Trade Redev. Corp. (J.C. Nichols Company)	Phase 1: 12-story office building, 201,036 SF., 517 garage parking spaces, 206 surface parking. Phase 2: 12-story office building, 200,000 SF., (garage will be expanded for a 4/1000sf parking ratio and surface spaces will be eliminated).	Completed, 1986 Approved, 1983

Map No.	Project Name	Location	Developer	Project, Type/Size	Project Status
25	50 Plaza Place	49th and Main	Leo Eisenberg Company	Office and retail development, 250,000 SF.	Proposed
26	Sunset Place	Sunset Drive	Crosstown Development	Single-family residential.	Under Construction
27	Seville Plaza	43rd and Main	Seville Plaza Hotel Assoc.	3-story, 77-room hotel.	Completed, 1985
28	One Main Plaza	4435 Main	Linclay Corporation	Phase 1: 11-story office building, 187,435 SF., 525 parking garage spaces.	Completed, 1985
	Marriott Hotel	4445 Main		Phase 2: 18-story, 296-room hotel, 218,000 SF., 210 parking garage spaces.	Completed, 1986
	Two Main Plaza	44th and Main		Phase 3: 11-story office building, 187,435 SF., 525 parking garage spaces.	Approved, 1983
	Three Main Plaza	44th and Main		Phase 4: 11-story office building, 187,435 SF., 525 parking garage spaces.	Approved, 1983
29	Twentieth Century Tower	4500 Main	Property Company of America	Phase 1: 15-story office building, 261,000 SF., 706 parking spaces.	Completed, 1987
	Fountain View	45th and Main		Phase 2: 15-story office building, 253,000 SF., 635 parking spaces.	Approved, 1984
30	Hilton Plaza Inn	46th and Main	Hilton Plaza Inn	Parking, No new construction.	Unknown
31	Montreux on the Plaza	4515 Walnut	Hilltop Company	4-story residential tower, 81,569 SF., 103 condominium units, 139 parking spaces.	Completed, 1986
32	Gilbert-Robinson Plaza	47th and Main	J.C. Nichols Company	5-story office building, 72,000 SF., 312 parking spaces.	Completed, 1983

Map No.	Project Name	Location	Developer	Project, Type/Size	Project Status
33	Brush Creek Redevelopment Corp.	Brush Creek Boulevard at Grand	R.H. Sailors Company	<p>Phase 1: 5-story office building, 50,000 SF. 14-story office building, 224,000SF. 19-story residential building, 204,474 SF., 125 dwelling units 2-story health club, 46,000 SF. 12,500SF of retail space</p> <p>Phase 2: 10-story office building, 117,740 SF. 19-story office building, 360,000 SF. Two 19-story residential buildings 204,474 SF. each, 125 units each 14-story residential building 306,502 SF., 310 dwelling units</p> <p>Total Development: Office: 751,740 SF. Retail: 28,500 SF. Residential: 919,924 SF., 685 units Health Club: 46,500 SF. Parking: 3,616 spaces</p>	<p>Site Demolition, 1988</p> <p>Approved, 1987</p> <p>Approved, 1987 (Ordinance No. 59071)</p>
34	Center for Business Innovation	47th to Volker, Locust to Forest	University of Missouri at K.C.	Research Campus and Office Park, 2,500,000 SF., 6,200 parking spaces.	Approved, 1987
35	Menorah Medical Center	Volker and Troost	Hospital Building Associates	Medical office: 68,000 SF., 638 parking spaces.	Completed, 1986
36	Sunset Plaza	Ward Pkwy. and Summit	Ernest Staub	8 single-family units.	Approved, 1988
37	The Locarno	235 Ward Pkwy.	Locarno Partners	110 renovated apartment units, 100 parking spaces.	Completed, 1988
38	Lowell--Carlyle	700 and 722 Ward Pkwy.	William C. Haas	400 apartment units.	Proposed

Neighborhood Planning District

Proposed Zoning District

I. A Neighborhood Planning District (NPD) is intended to help ensure the stability of predominantly residential neighborhoods or portions of neighborhoods that require special planning attention due to location in the vicinity of major existing or planned developments (including but not limited to a commercial center, public highway, or railroad line) or in the vicinity of major influences of development (including but not limited to arterial streets or major intersections). NPD's are not appropriate for all neighborhoods or all areas of the city. An NPD may not be appropriate for an entire neighborhood but should be limited to those portions of a neighborhood requiring special planning attention. The basis of an NPD would be a Neighborhood Plan as discussed in Section III.

II. The Neighborhood Planning District (NPD) is a new zoning district that is not currently a part of the Kansas City Zoning Ordinance. The Plaza plan is recommending the establishment of the NPD as a new zoning district. It is intended to be an overlay zoning district which means that it is an additional zoning district that overlays the existing zoning for an area. The existing zoning remains intact though the specific requirements of that district may be modified with the overlay zone. The NPD is considered to be an additional zoning category for an area and would follow the same procedures as a typical rezoning, which requires notification of the affected property owners.

III. The basis of an NPD would be a neighborhood plan that would set forth the potential for development within an NPD. The Neighborhood Plan would contain a land use plan that would:

1. Indicate proposed changes, if any, in permitted land uses within the Neighborhood Planning District.

2. Contain a schedule of proposed changes, if any, in density, coverage, height, and other requirements applicable to buildings or structures.

3. Contain specific regulations for the application of performance standards and application of site plan review procedures for identified areas or uses.

In addition to a land use plan the neighborhood plan may contain elements addressing housing, public improvements, traffic patterns, parks and open space and other elements determined to be appropriate by the City Plan Commission and City Council. The neighborhood plan could also contain design guidelines that would be used to guide future redevelopment in any areas identified in the land use plan as appropriate for redevelopment.

The Neighborhood Plan would serve as a guide to the City Development Department, the City Plan Commission and City Council regarding development within the NPD. Any proposed zoning change to a district that is not in compliance with the Neighborhood Plan or any other substantial deviation from the recommendations of the neighborhood plan would not be approved unless the City Plan Commission and City Council find that it is appropriate to amend the Neighborhood Plan to reflect the proposed change. The procedure to amend a Neighborhood Plan is discussed in Section IX.

IV. In any NPD, the regulations governing the uses of land and structures, the height of buildings and requirements for lot area, width, and yards would be as set forth in the underlying zoning district except as may be expressly modified by the Neighborhood Plan for that district as set forth below.

Due to special circumstances that exist in all or portions of a neighborhood, adjustment in the normal requirements of the Zoning Ordinance such as setbacks, height limitations, and requirements for site plan review, may be desirable as applied to a specific area of a neighborhood. Such adjustments may be identified by the Neighborhood Plan and adopted by ordinance at the time of adoption of the Neighborhood Plan, or may be identified for further study and adoption or rejected at a time determined appropriate by the City Plan Commission and City Council.

The Neighborhood Plan would serve as a guide to the City Development Department, City Plan Commission and the City Council regarding development within the NPD

The underlying zoning district remains intact though the specific requirements may be modified with the overlay zone

Again, the NPD is an overlay zoning district, which means that it is an additional zoning district that overlays the existing zoning for an area. By doing this, all the requirements of the existing zoning remain intact and the regulations of the NPD zoning district area are overlaid or added to the existing. The underlying zoning district remains intact though the specific requirements may be modified with the overlay zone.

V. The establishment of an NPD could be initiated by the City Plan Commission, City Council or area property owners. Initiation by area property owners would require the filing of a petition as discussed in Section VI below. Initiation by the City Plan Commission or City Council would begin with a public hearing as outlined in Section VI paragraph C below.

VI. The process to establish an NPD could be initiated by the City Plan Commission, City Council or area property owners and would consist of two phases. The first phase would contain four steps, including 1) preliminary review of the neighborhood; 2) petition process; 3) City Plan Commission public hearing and recommendation; and 4) City Council public hearing. The first phase is outlined below. The second phase is outlined in Section VII.

A. Step 1: The process would begin with a preliminary meeting between the City Development Department, and the neighborhood.¹ The City Development Department would provide the neighborhood with information regarding the NPD application requirements and process.

The City Development Department would then conduct a preliminary study of the general area including and surrounding the proposed NPD. The study would examine elements such as ownership patterns, building conditions, existing zoning, nearby development, and infrastructure and any other relevant elements. After conclusion of the study the City Development Department would provide the neighborhood with recommendations regarding the appropriateness of an NPD within the neighborhood and the appropriate boundaries of such.

B. Step 2: If after review of the City Development Department's findings the neighborhood decides to pursue the establishment of an NPD, the second phase of the application process would begin with submission of an application indicating the boundaries of the proposed NPD. The limits and the shape of the NPD will vary with different areas. There needs to be flexibility when defining the boundaries, yet the boundaries need to meet the intent of the NPD zoning district. The proposed boundaries of the NPD would be determined by the neighborhood and may or may not be consistent with the boundaries recommended by the City Development Department.

Boundary requirements for a Neighborhood Planning District

However, the boundaries of the proposed NPD must meet the following requirements:

- The proposed NPD must contain a minimum area of four contiguous blocks (a block being an area of land completely surrounded by streets) or a minimum area of 15 acres.
- Portions of blocks may be included in an NPD provided that the minimum four-block or 15-acre requirement is first met.
- All properties within the NPD must be contiguous, separated only by streets and alleys.
- The boundaries of the NPD may not exclude individual properties that are surrounded on all sides by other properties within the NPD.
- The boundaries of any NPD may not exceed those of a single neighborhood as defined by the Neighborhood Statistics Program (dated Oct. 1983) and any amendments thereof. This limitation may be waived by the City Plan Commission.

¹ For purposes of this ordinance a neighborhood would be defined as a neighborhood-based group that may or may not be incorporated as a not-for-profit corporation; the group must have defined geographic boundaries; the group must be made up of residents and property owners residing or owning property within those boundaries. Subgroups or other definitions of a neighborhood group may also initiate this action.

● The NPD may contain within its boundaries properties of any zoning district provided that no less than 75% of the land area within the NPD is zoned R1 through R4. The City Plan Commission may waive this requirement if it determines that doing so is necessary for the stability of the neighborhood.

Upon submission of a formal application the neighborhood would be provided with certified petition forms. If the NPD application is to proceed to the third phase of the application process, the owners of at least 50% of the privately owned land within the proposed NPD must sign the petition within a six-month period.²

At the end of the six-month period the City Development Department would validate the signatures and determine if satisfactory signatures had been obtained for owners of at least 50% of the property within the proposed NPD. If the City Development Department determined that less than the required signatures had been obtained, the neighborhood would be given 30 days to obtain additional signatures. Failure to obtain the additional required signatures within the 30-day period would result in the termination of the application process.

C. Step 3: After validation by the City Development Department that the NPD application petition contained the required signatures, the City Plan Commission would call a public hearing to explain the purposes and operation of an NPD and to determine the degree of interest in the establishment of such a district, as well as to receive any suggestions regarding the content of the Neighborhood Plan or the boundaries of the NPD.

Following the public hearing, the City Plan Commission may recommend to the City Council that the City Development Department in conjunction with the neighborhood proceed with the preparation of a Neighborhood Plan, and the City Plan Commission would recommend to the City Council

the boundaries of the proposed district. The City Plan Commission may also recommend termination of the proceedings if it determines that the proposed NPD will not serve the purposes for which the NPD is intended. The City Plan Commission may recommend that a smaller or larger area than proposed be approved as an NPD. In making such a recommendation the City Plan Commission may waive the minimum-area requirement of 4 blocks or 15 acres. Criteria used by the City Plan Commission to evaluate appropriateness of an NPD may include:

1. Existing land uses and zoning patterns in and around the area.
2. Ownership patterns.
3. Building conditions.
4. Relationship of area to major influences of development, such as arterial streets or major intersections.
5. Capacity of the public infrastructure within the area to properly serve more intense development.

D. Step 4: Only recommendations to proceed with the preparation of a Neighborhood Plan could be forwarded to the City Council. The City Council would then hold a public hearing and vote to proceed with the preparation of a Neighborhood Plan or to terminate the NPD application. If the City Council voted to proceed with the establishment of an NPD, the second phase of the process would begin.

VII. The second phase of the process to establish an NPD would consist of 3 steps including 1) preparation of the Neighborhood Plan; 2) City Plan Commission public hearing and recommendation regarding the Neighborhood Plan; and 3) City Council public hearing and decision.

²Streets and publicly owned lands such as parks and schools, or parcels owned by the federal, state, county or local government would not be included in the calculation of land area.

A. Step 1: When so instructed by the City Council, the City Development Department would prepare a Neighborhood Plan. The neighborhood would be consulted throughout this planning process. The Neighborhood Plan would consist of a detailed plan of land uses and related regulations. The plan should be in substantial conformity with the City's comprehensive plan and would be structured as discussed in Section III.

B. Step 2: Upon completion of the Neighborhood Plan the City Plan Commission would:

1. Make copies of the proposed Neighborhood Plan available to interested property owners and residents of the proposed NPD.

2. Hold a public hearing for the purpose of reviewing public comment on the proposed Neighborhood Plan.

Upon completion of the public hearing, the City Plan Commission may recommend to the City Council the adoption of the Neighborhood Plan, or of the Neighborhood Plan in a modified form and recommend establishment of an NPD.

C. Step 3: Upon receipt of a recommendation from the City Plan Commission, the City Council would hold a public hearing and would vote whether or not to adopt the Neighborhood Plan and to establish the NPD.

VIII. When approved by the City Council, the NPD would be shown on the official zoning map as an overlay district. The special requirements adopted through the Neighborhood Plan, if any, would apply to the identified areas of the NPD, and the Neighborhood Plan would serve as a policy guide for development within the NPD.

Amendments to the Neighborhood Planning District

IX. Amendment of the neighborhood plan would require a public hearing before the City Plan Commission. At the

public hearing the City Plan Commission would review the proposed amendment to the Neighborhood Plan and would accept public comment regarding the proposed amendment.

The City Plan Commission would determine if the proposed amendment is appropriate in order to promote the proper development of the area in question. If the amendment will promote proper development and will not have undue negative impact on the surrounding area, the City Plan Commission would make a recommendation to the City Council that the neighborhood plan be amended accordingly.

If the City Plan Commission fails to make these two findings, the proposed amendment would be denied as would the proposed zoning change.

Five year review

X. Every five years the City Plan Commission would hold a public hearing for the purpose of reviewing the Neighborhood Plan. As a result of this review the City Plan Commission would take one of the following actions:

A. Find that the NPD and all aspects of the Neighborhood Plan remain appropriate and recommend no change.

B. Find that portions of the NPD and Neighborhood Plan no longer serve the purpose originally intended and that modification is needed due to changes in circumstances and recommend modifications to the boundaries of the NPD and/or elements of the Neighborhood Plan.

C. Find that the entire NPD and Neighborhood Plan are no longer appropriate and recommend that the entire district be dissolved.

If the City Plan Commission made a recommendation that the plan be amended, the City Council would hold a public hearing and would act upon the recommendation of the City Plan Commission.

Neighborhood Characteristics

	Percent Single-Family	Percent Owner-Occupied	Median Family Income	Median Housing Value	Median Rent	Percent Elderly (65+)
West Plaza	35.8	29.9	\$20,705	\$30,900	\$228	19.3
Westwood	87.5	78.3	29,132	62,200	268	16.1
Sunset Hill	87.6	91.8	57,996	172,900	408	12.7
Plaza-Westport	14.7	12.6	18,343	29,400	189	30.8
Country Club Plaza	1.5	0.7	17,500	---	223	42.0
South Plaza	7.0	12.8	21,736	38,100	254	44.9
Countryside	66.9	69.9	30,311	64,100	181	13.2
Southmoreland	3.4	10.8	16,726	44,000	182	28.3
Rockhill	27.3	38.7	26,250	128,300	159	8.8
Brush Creek/Trolley Barn	47.4	21.0	16,875	25,900	102	9.2
South Hyde Park	35.9	39.3	13,142	25,000	160	11.3
49-63	75.2	66.0	18,202	30,800	186	12.2
Crestwood	91.7	96.8	29,554	70,300	450	12.8
Manheim Park	44.0	35.6	13,291	12,700	124	9.9
CITY-WIDE AVERAGE	69.6	57.9	20,034	34,600	165	12.3

Source: 1980 Census of the U.S., Neighborhood Statistics

Index of Zoning Categories

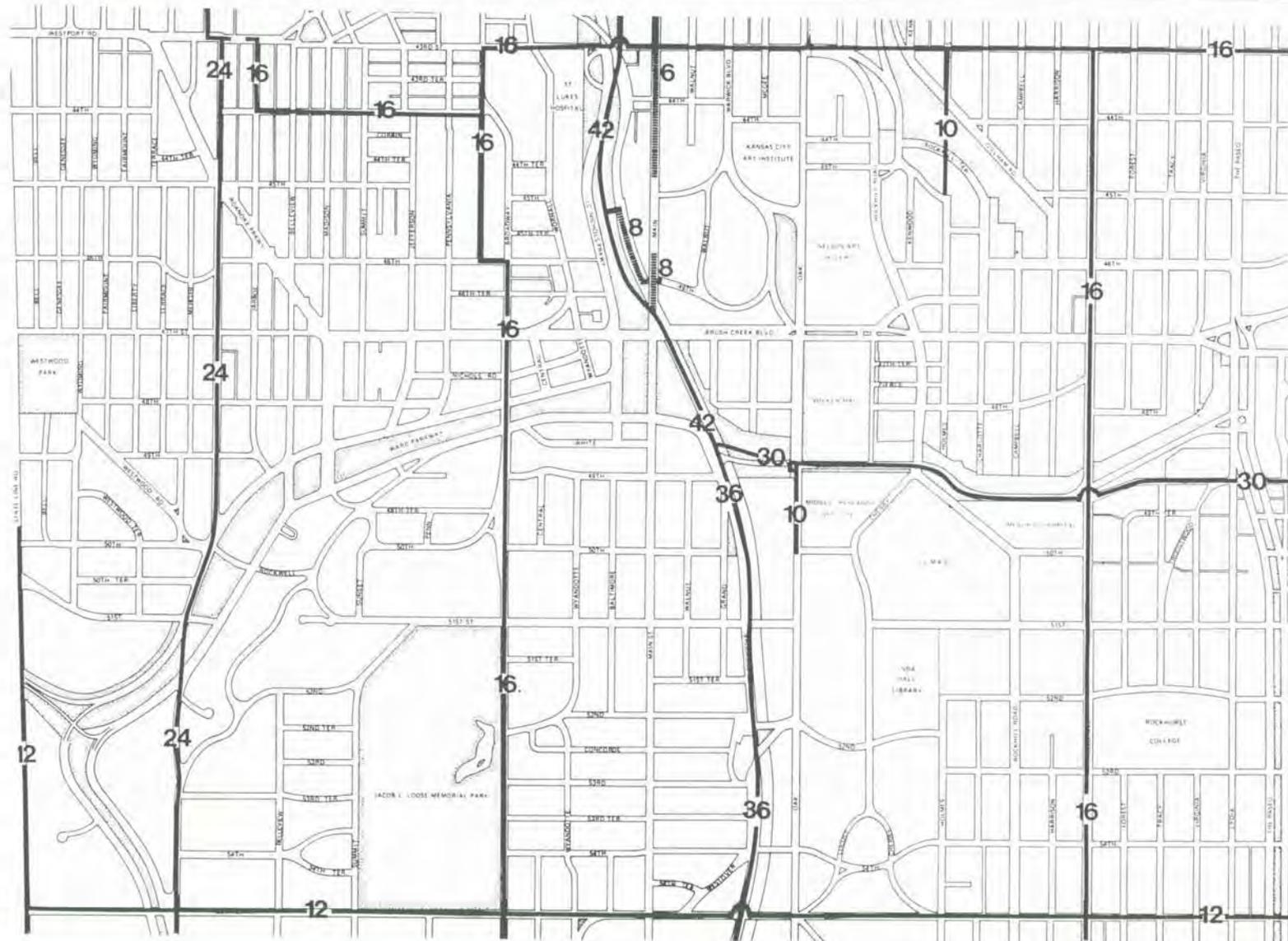
R-1aa	One-family dwelling district (2.9 dwellings units per acre) minimum lot area of 12,000 square feet, lot width of 100 feet.	C-3a1	Intermediate business district, 3 stories, 45-foot building height, floor area ratio of 1 (one)
R-1a	One-family dwelling district (5.8 dwellings per acre) min. lot area of 7,500 s.f., lot width of 50 feet.	C-3a2	Intermediate business district, floor area ratio of 6 (six)
R-1b	One-family dwelling district (7.26 dwellings per acre) min. lot area of 6,000 s.f., lot width of 50 feet.	M-1	Light industrial district
R-2a	Two-family dwelling district (8.7 units per acre) min. lot area of 5,000 s.f.		
R-2b	Two-family dwelling district (14.5 units per acre) min. one-family unit lot area of 5,000 s.f., two-family of 3,000		
R-3	Low-rise apartments, low density (14.5 apartment units per acre), min. lot area for one-family dwellings, 5,000 s.f., two-or-more-family dwellings, 3,000 s.f.		
R-4	Low-rise apartment district (29 apartment units per acre), min. lot area for apts. w/three or more dwellings, 1,500 s.f.		
R-4-O	Low-rise apartment, administrative office building, 3 story, 45-foot building height		
R-5	High-rise apartment district, 12 story, 164-foot building height, (124.4 apartment units per acre)		
R-5-O	High-rise apartment district, administrative office building		
R-6	High-rise apartment district (145.2 apartment units per acre)		
C-1	Neighborhood business retail center, 2.5 stories, 35-foot building height		
C-2	Local retail business center, 45-foot building height		

Plaza Area Travel Times

Street	Location	Direction of Travel *	Time of Study	Number of Studies	Average Trip Time	Average Overall Travel Speed
Roanoke/Madison	Ward (ND) to Westport	NB	8:00-8:30	2	2' 5"	22.1 MPH
Belleview	Westport to Ward (ND)	SB	5:00-5:30	2	2' 46"	17.2 MPH
Ward Parkway (S. DR.)	55th to J.C. Nichols	NB-SB	7:45-8:15	2	3' 9"	25.9 MPH
Ward Parkway (N. DR.)	J.C. Nichols to 55th	SB-WB	5:00-5:30	2	3' 53"	21.9 MPH
Main Street	51st to 43rd	NB	7:15-8:30	5	3' 49"	15.7 MPH
Main Street	43rd to 51st	SB	4:15-5:15	2	3' 01"	19.9 MPH
47th/Brush Creek	Madison to Rockhill	EB	5 PM	2	6' 16"	10.3 MPH
47th/Brush Creek	Rockhill to Madison	WB	8 AM	2	3' 39"	17.7 MPH
J.C. Nichols	Ward (SD) to 43rd	NB	8 AM	2	1' 31"	25.6 MPH
J.C. Nichols	43rd to Ward (SD)	SB	5 PM	2	1' 53"	22.6 MPH
Oak/Warwick	55th to 43rd	NB	7:15-8:15	4	4' 01"	16.7 MPH
Oak/Warwick	43rd to 55th	SB	4:30-5:30	3	4' 02"	16.7 MPH

* Northbound, southbound, eastbound, westbound

Water Service Plan

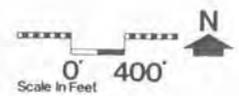


Water Lines

— Existing

- - - Proposed

(line sizes in inches)



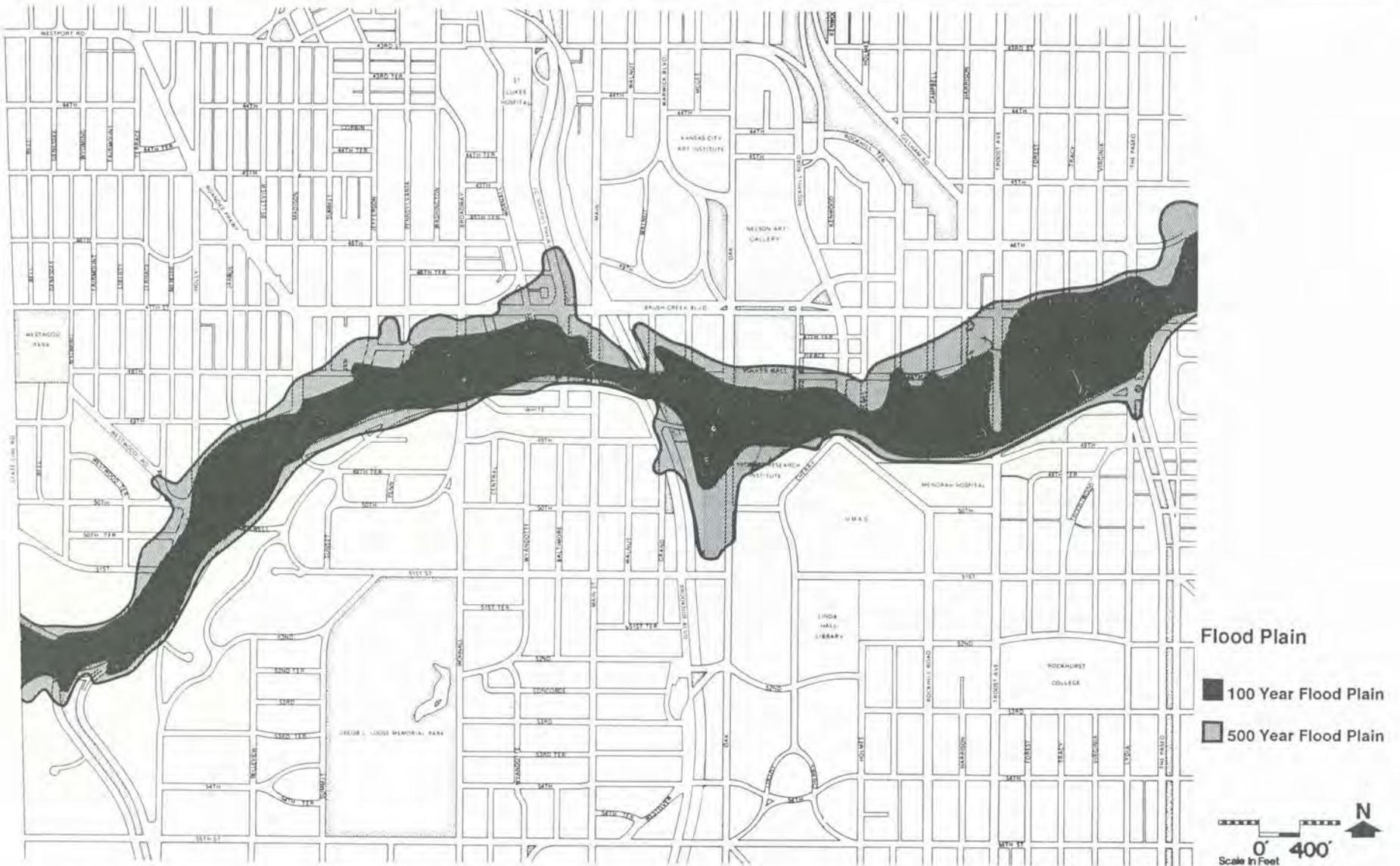
Sewer Service Plan



Flood Control Plan



Flood Plain



Participating Organizations

PLANNING COMMITTEE--NORTHEAST QUADRANT

Board of Parks and Recreation Commissioners
Brush Creek Neighborhood Association
City Development Department
City Transportation Department
Hyde Park Neighborhood Association
Kansas City Art Institute
Landmarks Commission
Main Street Business Association
Main Street Corridor Development Corporation
Manheim Park Neighborhood Association
Midwest Research Institute
Neighborhood Housing Services, Inc.
Nelson-Atkins Museum of Art
J.C. Nichols Company
Oak Hall Condominium
Rockhill Homes Association
R.H. Sailors & Co.
Sophian Plaza Condominium
Southmoreland Historic District
Southmoreland Neighborhood Association
Trolley Barn Neighborhood Association
University of Missouri at Kansas City
Westport Tomorrow, Inc.

PLANNING COMMITTEE--NORTHWEST QUADRANT

Block and Company, Inc.
H & R. Block and Company
Board of Parks and Recreation Commissioners
Brentwood Condominiums
City Development Department
City Transportation Department
Commerce Plaza Bank
Haith & Company
Hartman Tiehen Realtors
Kansas City Area Transportation Authority
Kroh Brothers

Landmarks Commission
The Lower Agency
Main Street Business Association
Main Street Corridor Development Corporation
Medical Plaza Associates
J.C. Nichols Company
Parkway Towers Condominium
Plaza Westport Neighborhood Association
St. Luke A.M.E. Church
St. Luke's Hospital
Swinney School
Truog and Associates
West Plaza Neighborhood Association
Westport Tomorrow, Inc.
Westwood Homes Association

PLANNING COMMITTEE--SOUTH QUADRANTS

Board of Parks and Recreation Commissioners
City Development Department
City Transportation Department
Country Side Homes Association
Crestwood Neighborhood Association
49/63 Neighborhood Coalition
Kansas City Area Transportation Authority
Kansas City, Missouri, School District
Kroh Brothers
Landmarks Commission
Leo Eisenberg Real Estate Company
Midwest Research Institute
J.C. Nichols Company
Pembroke Hill School
Plaza Library
Rockwell Homes Association
Saul Ellis and Company, Inc.
South Plaza Neighborhood Association
E.J. Straub Construction Company
University of Missouri at Kansas City
The Walnuts Condominium
Westport Tomorrow, Inc.

